

## TENTATIVE AGENDA FOR THE KINGSPORT REGIONAL PLANNING COMMISSION

This meeting is an open and accessible meeting. If interested parties request special assistance or accommodations, please notify the Planning Department three (3) days in advance of the meeting.

February 16, 2012

7:00 P.M.

### I. INTRODUCTION AND RECOGNITION OF VISITORS

### II. APPROVAL OF THE AGENDA

### III. APPROVAL OF THE MINUTES OF THE REGULAR MEETING HELD ON JANUARY 19, 2012 AND THE CALLED WORK SESSION HELD ON JANUARY 26, 2012.

### IV. CONSENT AGENDA – Consent items are those items that have previously been brought before the Planning Commission, which have been reviewed by the Planning Commission in previous meetings or work sessions, or are minor subdivisions not requiring any variances.

None

### V. UNFINISHED BUSINESS

None

### VI. NEW BUSINESS

- 02-01 Cleek Road Part 2 Annexation Request (11-301-00024)** – The Planning Commission is requested to consider the annexation, zoning, and plan of services for property located on and around Cleek Road, as well as a portion of the Cleek Farm, located off New Beason Well Road. The property is located in the 10<sup>th</sup> Civil District of Sullivan County. (Weems)
- 02-02 Edinburgh Subdivision – Phase 2c-1 – Royal Mile Divide (11-201-00084)** – The Planning Commission is requested to consider granting preliminary plat approval for the Edinburgh Subdivision, Phase 2c-1 located adjacent to Royal Mile Divide. The property is located inside the corporate limits of the City of Kingsport, 15<sup>th</sup> Civil District of Sullivan County.
- 02-03 Reedy Creek Winery: Amendment to the Approved Development Plans (11-105-00011)** – The Planning Commission is requested approval to amend the approved development plans for the Meadowview Conference Center per Section 114-468(d) of the city's zoning code to allow the placement of Reedy Creek Winery on the site. (Koder)
- 02-04 BC Sign Amendment – Additional Amendment to Section 114-1 Definitions (11-801-00009)** – The Planning Commission is requested to recommend to the Board of Mayor and Aldermen an additional amendment to Section 114-1 Definitions to add a definition for complex sign and monument sign. (Koder)
- 02-05 *Minimum Regulations for Subdivision Development within the Kingsport, Tennessee Planning Region – Final Draft Adoption (11-801-00005)*** – The Planning Commission is requested to adopt the amended *Minimum Regulations for Subdivision Development within the Kingsport, Tennessee Planning Region*.

## **VII. OTHER BUSINESS**

Receive, for informational purpose only, a report of permits issued by the Building Division for the period of January 1-31, 2012.

Receive, for informational purpose only, a report of New Businesses as provided by Jeff Fleming.

Receive minor subdivision letter and map for the Resubdivision of Lots 39 and 43 of Edinburgh Subdivision on Edinburgh Channel Road.

Receive minor subdivision letter and map for the Resubdivision of Lots 1 and 2 of Kingsport Chamber Foundation Subdivision on East Main Street.

Receive minor subdivision letter and map for the Resubdivision of Lots 2 and 2A of Kingsport Chamber Foundation Subdivision on East Main Street.

Receive minor subdivision letter and map for the Resubdivision of Lots 1 and 2 of Quail Creek Subdivision on Morning Dove Drive and Countryshire Drive.

Receive minor subdivision letter and map for the Resubdivision of Lots 40 and 41 of Bailey Ranch Subdivision on Bailey Ranch Road.

Receive minor subdivision letter and map for the Subdivision of Lot 1 of the Avery Horne Heirs Property located along Fall Creek Road.

Receive report concerning items of interest.

**MINUTES OF THE REGULAR MEETING OF THE  
KINGSPORT REGIONAL PLANNING COMMISSION**

January 19, 2012

7:00 p.m.

**Members Present**

Dennis Ward, Chairman  
Colette George, Vice-Chairman  
Mike McIntire, Alderman  
George Coleman  
Dave Stauffer  
Jim Lewis  
Andy Hall  
Hoyt Denton  
“Buzzy” Breeding

**Members Absent**

None

**Staff Present**

Lynn Tully  
Ken Weems  
Karen Combs  
Jason Meredith

Robert Moyers  
Darrell Cox  
Mitzi Cox  
Mary Lou Wilson  
Larry Wilson  
Donnie Gamble  
Janice Gamble  
Donna Briggs  
Wanda Cox  
Mary Archer  
Tony Archer  
Jim Bledsoe  
Debbie Bledsoe

**Visitors List**

Michelle Jackson  
Jeffrey L. Cox  
Jonathan C. Bailey  
Tom Leatherman  
John Sharp  
Terry Harkleroad  
Terry Alexander  
Allen Smith  
Henry Greer  
Martin Hale  
David Hale  
Donna Walker

At 7:00 p.m., Chairman Dennis Ward called the meeting to order, welcomed the audience, introduced the Commissioners and staff, and summarized the meeting procedures. A motion was made by Mike McIntire, seconded by George Coleman, to approve the Agenda as submitted. This motion was approved unanimously, 8-0.

The minutes of the Regular Meeting held on December 15, 2011, were discussed. There being no corrections, a motion was made by Colette George, seconded by “Buzzy” Breeding, to approve the minutes as presented. This motion was approved unanimously, 8-0.

## **CONSENT AGENDA**

**No items**

## **UNFINISHED BUSINESS**

**No items**

## **NEW BUSINESS**

**Bailey Rezoning Request (11-101-00011)** – The Planning Commission considered a request to rezone approximately 3.5-acres of property from A-1, General Agricultural District, to B-4, Arterial Business Service District. The property is located at 4445 Sullivan Gardens Parkway, in the 15<sup>th</sup> Civil District, outside the City limits of Kingsport, but within the Urban Growth Boundary. A presentation was made by Karen Combs. The request was for a lot that included two zones within the County, only a 3.5 acres portion of the 9 acre parcel has requested to be rezoned. There is an existing building currently on the property which is vacant, and is located within the floodway. Therefore, no physical exterior changes will be allowed without amending FEMA map. The State DOT changed the elevation of the lot since the creation of the FEMA maps with the reconstruction of Sullivan Gardens Parkway; however, the map has yet to be amended. Staff did contact the property owner regarding rezoning the entirety of the lot and the response from the property owner was not favorable to that suggestion. Commissioner Colette George asked if any part of the property was not in the floodway, to which staff responded that the floodway covers about 90% of the lot with the remainder being primarily flood fringe area which stretches across Sullivan Gardens Parkway and to the properties on the north side of the right-of-way. Further, Commissioners identified that the creek was located approximately midway through the center of the property. The question was asked about what the existing building was originally used for. Staff responded that original use to the best of their knowledge was a feed store with minimal interior finish. Commissioner Hoyt Denton asked who would issue a building permit for this property since the building restrictions are from FEMA. Staff stated that the permits are enforced by the County Building Official. The Chairman opened the item for public hearing. Mr. Jonathan Bailey spoke in favor of the request and stated that his family has owned the property for many years and has been paying commercial assessed property taxes. There being no opposition of the request, the item was closed. A motion was made by Colette George, seconded by “Buzzy” Breeding, to approve the request as presented. The motion was approved unanimously, 8-0.

**Harris Rezoning Report (11-101-00012)** – The Planning Commission considered a request to rezone approximately 99.32-acres of property from R-1B, Single-family Residential District, to A-1, Agricultural District. The property is located at 252 Lebanon Road, in the 14<sup>th</sup> Civil District of Sullivan County. A presentation was made by Jason Meredith. Staff stated the existing use as Agricultural Land Use and the intent is to continue the farming use. Water and sewer are available to the property with access from Lebanon Rd. The future Land Use Map does indicate multi-family uses as appropriate for the property. However, the intended use is to continue farming and agricultural uses with the existing cell tower as located presently.

The Chairman opened the item for public hearing. There being no one present to speak in opposition to the request, the item was closed. A motion was made by Mike McIntire, seconded by Colette George, to approve the request as presented. The motion passed unanimously, 8-0.

**\*The Planning Commission considered the Border Regions Annexation Areas 1, 2, & 3. However, all three items were presented together.**

**Border Regions Area 1 Annexation (11-301-00019)** – The Planning Commission considered the annexation, zoning, and plan of services for property located east of the southern portion of Eastern Star Road, along Mitchell Road, and within the vicinity of Tri-Cities Crossing exit. The property is located in the 14<sup>th</sup> Civil District of Sullivan County. Ken Weems presented all three areas together. Staff stated the Public Meeting was held in December with many property owners participating. Staff noted that sewer and water upgrades are necessary to serve the annexation areas. Further, most properties are being proposed for A-1 zoning with some M-1 zoning being proposed in areas where county manufacturing zones exist. The proposal was being recommended with a standard Plan of Services with the exception of sewer installation which is included at an approximate 8 years for location and design and installation. Staff recommended the Planning Commission forward a positive recommendation to the Board of Mayor and Aldermen. Commissioner Colette George asked whether Area 1 was shown as being all zoned M-1 with exception of one lot. This was confirmed by staff. The singled out lot is proposed to be zoned A-1. Commissioner Jim Lewis asked Chairman Dennis Ward to explain annexation of this area as “Border Regions”. Chairman Dennis Ward explained the Border Regions Law and the impact of annexation within the Border Regions area as it relates to sales tax and incentives for future development. He further stated that development is currently being proposed at the interchange between I -81 and I-26. Alderman Mike McIntire added that this region allows for competitive advantage to cities within 12 miles of the state border where sales taxes would be redistributed locally for future incentives to additional retail development. The Chairman opened the item up for public hearing for those speaking in favor. No one spoke in favor. The item was then opened for public hearing for those speaking in opposition. Mr. “Liberty” Larry Wilson spoke in opposition stating the annexation law in his opinion was unconstitutional. Mr. Wilson stated that the City did not offer him any services that he was specifically in need of. He further stated that a former school building named Fink Pickens School is located on his property and is currently listed on the National Register. He does not intend to sell the property, and no one has offered to buy the property. He feels he is being taxed out of ownership. Next to speak in opposition was Mitzi Cox who stated she feels that her heritage was being taken from her as her family’s children will not be able to enjoy farming on the property in the future. She further went on to discuss her concern about high banks on Cox Hollow Road and natural springs that would be difficult to maintain and to develop around with the current flooding that happens in that area. Additionally, she submitted for the Planning Commission’s review pictures of the area. It was her position they should not annex properties that do not want to be in the City. Mr. Martin Hale spoke in opposition, and stated his appreciation of the ability to continue to speak and address the Commission in a constructive manner. He felt the additional tax for his farm use was excessive for his particular situation. He did feel like he was a victim of circumstance in that location, although he did not want to be annexed. Mr. Jim Bledsoe spoke in opposition to the annexation. Stating that he moved in about 3 years ago and did not expect the city in that vicinity. Mr. David Hale spoke in opposition to the annexation. He stated that the City didn’t offer any services that he felt he needed, and although his children would be eligible for city schools he doesn’t expect a bus to come out to that area for transportation. Ms. Wanda Cox spoke in opposition to the annexation. She stated that her desire is to leave the property to her children and her lack of need for any city services. Further, she stated this tax would put a hardship on her as a property owner. Ms. Janice Gamble spoke in opposition to the annexation. She stated the only advantage to her would be the free trash service for her property. She felt that the development potential is going to be detrimental to her and to that community as a whole. Mr. Bill Gillenwater spoke concerning County Permits he currently held for construction, and wanted to be assured that he would be able to continue to complete the construction and no new circumstances due to the annexation would diminish his right to complete the construction. Staff did state to Mr. Gillenwater that all existing county permits would continue to be honored and there would be no change in those codes. Ms. Mitzi Cox requested an explanation on the difference between

the County A-1 zoning and the City A-1 zoning districts. Staff stated that the effective rules for subdivision are similar between the city and the county and the zoning districts are also very similar as both are agricultural. Mr. Larry Wilson asked the Commission about the impact of new development in this area on Kingsport's Town Centre development, and if there would be any draws from that business to relocate to the fringe of the city. Commissioner Dennis Ward stated that the Taylor property is looking to attract a different retail market and customers. Although, there may be some competition it would be more no more than in other various parts of town. Commission Hoyt Denton stated his feeling that is an ideal place for future development and that it cannot occur without water and sewer. He further stated that the tax revenues received due to the Border Regions Law will help all the residents. Commissioner "Buzzy" Breeding stated that although the annexation may go through there is no requirement for these individual property owners to sell their property, although it should improve the value of their ownership. Commissioner Jim Lewis further stated that this process is not intended to be adversarial in anyway; however, it is an attempt to make prudent decisions. A large part of this an opportunity for Kingsport to compete with Virginia for sales tax dollars. There being no one else to speak in opposition to or in favor of the three proposed annexation areas, the Chairman closed the items for public hearing.

A motion was made by Colette George, seconded by Dave Stauffer, to recommend the Border Regions Area 1 annexation, zoning, and plan of services to the Board of Mayor and Aldermen for their public hearing on January 24<sup>th</sup>. The motion passed unanimously, 8-0.

**Border Regions Area 2 Annexation (11-301-00020)** - The Planning Commission considered the annexation, zoning, and plan of services for property located along Mitchell Road. The property is located in the 14<sup>th</sup> Civil District of Sullivan County. A presentation was made by Ken Weems. After some discussion by Alderman Mike McIntire regarding the need for annexation to plan ahead for long term growth, a motion was made by Mike McIntire, seconded by "Buzzy" Breeding, to recommend the Border Regions Area 2 annexation, zoning, and plan of services to the Board of Mayor and Aldermen for their public hearing on January 24<sup>th</sup>. The motion was approved, 7-1, with Colette George voting no.

**Border Regions Area 3 Annexation (11-301-00021)** - The Planning Commission considered the annexation, zoning, and plan of services for property located in the vicinity of the Tri-Cities Crossing Exit. The property is located in the 14<sup>th</sup> Civil District of Sullivan County. A presentation was made by Ken Weems. There being no further discussion a motion was made by Mike McIntire, seconded by Hoyt Denton, to recommend the Border Regions Area 3 annexation, zoning, and plan of services to the Board of Mayor and Aldermen for their public hearing on January 24<sup>th</sup>. The motion was approved, 7-1, with Colette George voting no.

**Old Mill Annexation (11-301-00022)** - The Planning Commission considered the annexation, zoning, and plan of services for property located northeast of the Warrior Falls Subdivision, along Fall Creek Road. The property is located in the 7<sup>th</sup> Civil District of Sullivan County. A presentation was made by Ken Weems. The annexation includes approximately 70 acres of land in 87 parcels including Rosemary Villas. The proposed zoning is comparable to county zones including B-1, A-1, R-3, and R-1B. The proposed Plan of Services are standard plan of services with five year extensions and upgrades to water and sewer services as necessary. Staff did recommend to the Planning Commission a positive recommendation for the Board of Mayor and Aldermen. Commissioner Hoyt Denton asked questions regarding the utility upgrades for the area. Staff stated hydrants and some small sewer improvements were included in the upgrades. There being no further discussion, the Chairman opened the item for public hearing. No one spoke in favor of the request. Mr. Terry Alexander spoke in opposition to the request stating the annexations along the Fall Creek Rd. right-of-way seem to be creating unusual city limits. He further questioned when fire hydrants and city lighting would go in and when transportation via the KATS service would be available. Additionally, he stated that he was retired and moved to keep from

paying additional state income tax. Alderman Mike McIntire responded that street maintenance and snow removal will be available as well as school buses and all other city services on the effective date. Staff advised that property taxes would be due in 2013. Additionally, there is a tuition program available for the citizens of Kingsport, as well as the county residents to the North East State Community College through the Educate and Grow Program. Mr. Alan Smith spoke in opposition to the request stating that he appreciated being able to learn about the process by coming to this meeting. He also appreciated that Colette George voted in opposition for the Border Regions annexation. He further stated that his personal water and sewer usage was minimal. He also stated he would not benefit by coming into the city and that county services were more than adequate to fit his needs. He further stated that fixed income residents will be detrimentally effected by city taxes. Chairman Dennis Ward responded that city services have been very valuable in his personal experience and that complete answers have been given to participants in the public meetings to the best of their abilities. Commissioner George Coleman stated that the Urban Growth Boundary was defined in 2000 ensuring the ability to annex by cities and was voted on by representatives of cities and counties alike. Additionally, the Planning Commission discussed the ability of the city to provide sewer services typically within 5 years, while only recouping those expenses over a much longer time period. Additional discussion ensued regarding the planning of annexation areas and timing thereof in order to budge for completion of the improvements necessary by our Plan of Services. Sullivan County Commissioner Terry Harker spoke on behalf of Mr. Moyers, the property owner within the Old Mill annexation area. Mr. Moyers is requesting special circumstances for his property and staff did discuss some of his concerns with Mr. Moyer and will continue that discussion. Mr. Harker further stated that he would like to see additional coordination between the city and county for brush pickup within the city limits. Commissioner Andy Hall stated that one of the biggest benefits of city is the education system and the facilities of the city schools. He additionally stated that his property is adjoining this annexation and he would like his property to be included in the next annexation area. There being no further discussion and no further speakers in favor or in opposition the Chairman closed the public hearing. A motion was made by Colette George, seconded by Dave Stauffer, to recommend approval of the Old Mill annexation to the Board of Mayor and Aldermen. The motion was approved unanimously, 8-0.

**Proposed Amendment to the Business Conference Center Sign Regulations (11-801-00005)** – The Planning Commission considered a request to amend Section 114-467(9) *Signs* of Division 9, Business Conference Center District in the City of Kingsport Code. A presentation was made by Lynn Tully. During the presentation staff stated that the changes included the addition of Business Complex signage for interstate signage for individual businesses within the BC district located on the same parcel. This would primarily apply to the MeadowView Conference Center. However, it would have limited application to a few other smaller parcels. Staff further stated that additional monument signage would also be allowed for each business located on a single parcel in this district and additional minor changes to traffic and directional signage have been included in the proposed amendment. Staff recommended approval of the changes as presented. The Chairman opened the item for public hearing. There being no one to speak in favor or in opposition to the request, the item was then closed for public hearing. Upon discussion by the Planning Commission, a motion was made by Colette George, seconded by Mike McIntire, to recommend the amendment to the Business Conference Center Sign regulations to the Board of Mayor and Aldermen. The motion was approved unanimously, 8-0.

**Golf Course Community Zoning Text Amendment (11-801-00004)** – The Planning Commission considered a request to recommend the addition to the City Zoning Code of the Golf Course Community District (GC District) to the Kingsport Board of Mayor and Aldermen. Mrs. Karen Combs presented the item which included a two step fix to create a usable district within the golf course communities,

particularly within the Ridgefield neighborhood while maintaining the integrity of the existing golf course community of Ridgefields.

The Commission questioned who would be the preparer of the master plan in this particular instance. Staff stated that the City would provide the master plan for this area based on existing parcel lines and aerial photography. The Commission questioned whether the amendments could be made to the master plan, to which staff replied that they could, but those amendments would have to abide by the notification procedures for rezonings. Staff further stated that the course and golf club owner is in favor of the changes as proposed. After additional discussion Commissioner "Buzzy" Breeding stated that as a resident of that area he felt that this would be positive change to the current provisions in that area. Staff recommended forwarding an approval of the request to the Board of Mayor and Aldermen. There being no additional discussion, the Chairman opened the item for public hearing. There being no one to speak in favor or in opposition to the request, the item was closed for public hearing.

A motion was made by George Coleman, seconded by Jim Lewis, to approve the change in the zoning regulations as proposed. The motion was approved unanimously, 8-0.

## **OTHER BUSINESS**

Staff did note, as a reminder, that there would be a January 26<sup>th</sup> Called Work Session for review of the amendments to the Subdivision Regulations at 12:00Noon in the Jimmy Walker Conference Room.

Receive, for informational purpose only, the minutes of the Regular Meeting of the Board of Zoning Appeals held December 1, 2011.

The Planning Commission received, for informational purpose only, a report of permits issued by the Building Division for the period of December 1-31, 2011.

The Planning Commission received, for informational purpose only, a report of New Businesses as provided by Jeff Fleming.

The Planning Commission received the following minor subdivisions, letters, and maps approved in-house by the Planning Manager:

- Resubdivision of Lots 20 and 21 of Woodhaven Subdivision on Wood View Court.
- Resubdivision of Lot 39 of Edinburgh Subdivision on Edinburgh Channel Road.
- Resubdivision of Lot 1R of Old Island Subdivision on Golf Ridge Road.
- Resubdivision of the Ridgefields Subdivision, Lots 15 and 16 on Longreen Road.
- Subdivision of Lot 1 and 2 of the Jimmie Lee Greene Property, located along Cedar Branch Road.
- Subdivision of 570 Henry Harr Road
- Resubdivision of the Cassell Subdivision on Reservoir Road

**ADJOURNMENT**

There being no further business, a motion was made by Hoyt Denton, seconded by Andy Hall, to adjourn the meeting at approximately 9:01 p.m. This motion passed unanimously, 8-0.

Respectfully Submitted,

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Chanya Lynn Tully, AICP, Planning Commission Secretary

**MINUTES OF THE CALLED WORK SESSION OF THE  
KINGSPORT REGIONAL PLANNING COMMISSION**

January 26, 2012

12:00 NOON

**Members Present**

Colette George, Vice-Chairman  
Mike McIntire, Alderman  
George Coleman  
Dave Stauffer  
Jim Lewis  
Andy Hall  
Hoyt Denton  
“Buzzy” Breeding

**Members Absent**

Dennis Ward, Chairman

**Staff Present**

Lynn Tully  
Ken Weems  
Karen Combs  
Jason Meredith  
Forrest Koder  
Mike Thompson  
Hank Clabaugh  
Chris Alley

At 12:00 p.m., Vice-Chairman Colette George called the meeting to order, and the proposed *Minimum Subdivision Regulation* amendments were introduced by Mr. Forrest Koder. The proposed amendments were reviewed page by page through the document. Discussion ensued regarding a variety of amendments, particularly the requirement for sidewalks, provisions for complete streets and bicycle lanes as appropriate. Additional discussion was held regarding mobility pathways and their construction. Other minor conversation was conducted relating to the verbiage used within the proposal. Action items for staff included research in TDEC’s minimum lot size requirements, and the State regulatory language for letters of credit held by the Planning Commission. There being no further discussion, staff was directed to make the proposed changes as discussed, and present for approval at the Planning Commission’s February 16<sup>th</sup> regular meeting.

Staff provided a short preview of the preliminary format for the joint Board of Mayor and Aldermen and the Planning Commission Work Session to be held on February 6<sup>th</sup> regarding annexation and future plans.

There being no additional discussion, the Work Session was then closed at approximately 1:30p.m.

**ANNEXATION REPORT  
CLEEK ROAD PART 2 ANNEXATION  
FILE: 11-301-00024**

**TO:** KINGSFORT REGIONAL PLANNING COMMISSION

**FROM:** Ken Weems, Planner

**DATE:** 30 January 2012

**APPLICANT:** City of Kingsport

**REQUESTED ACTION:** Annexation and zoning to an R-1B (residential district) and A-1 (Agricultural District) of approximately 75 acres/3 parcels.

**LOCATION:** The area proposed for annexation is located on and around Cleek Road, as well as a portion of the Cleek Farm, located off New Beason Well Road.

**EXISTING LAND USE:** Residential & Agricultural

**PROPOSED USE:** Same

**SURROUNDING ZONING DISTRICTS & LAND USES:**

**General:** The annexation area is surrounded by County A-1 (Agricultural) zoning, as well as City R-1B (Residential) and B-1 (Neighborhood Business) zoning.

The annexation area is currently zoned County A-1 (Agricultural District) and R-1 (Residential District) zoning.

**LAND USE PLAN:** The Kingsport 2030 Land Use Plan addresses this area's use as appropriate for single family residential use.

**UTILITIES:** The annexation area is currently served by City of Kingsport Water service. Both water and sanitary sewer upgrades are necessary to provide city standard service to the area.

**TRANSPORTATION:**

Public streets in this annexation area consist of (approximate ft.):

Cleek Road: 2,200

**POPULATION:**

The annexation area currently contains zero residents.

**OPTIONS:** The Planning Commission's options are the following:

1. Send a favorable recommendation for annexation to the Board of Mayor and Alderman for the annexation, zoning, and plan of services for the Cleek Road Part 2 annexation area.
2. Recommend disapproving the annexation areas, stating the reasons in writing.
3. Postpone action until additional information is presented.

**STAFF RECOMMENDATION:**

The Planning Division recommends option #1, the annexation of the parcels identified in this study to the Board of Mayor and Aldermen. The rationale for this recommendation is based on the following:

1. The City of Kingsport should utilize annexation as urban development occurs and is necessary for present and future growth in an orderly manner.
2. Annexation spurs economic growth by providing basic services at a reasonable cost and allows those costs to be spread fairly to all who enjoy those services.
3. The City of Kingsport can provide services through its Plan of Services that the County cannot provide to the residents of the area.
4. It is reasonably necessary for the welfare of the residents and property owners of the affected territory.
5. It is reasonably necessary for the welfare of the residents and property owners of the municipality as a whole.

**Cleek Road Part 2 Annexation Area**

**COST ESTIMATE/ tax records as of 30 January 2012**

Revenues	One Time	Reoccurring (annual)	
Property Taxes	X	\$839.00	(greenbelt status property)
State Shared	X	\$0.00	0 residents
Sewer Tap Fees	X	\$0.00	future taps per development
Water & Sewer Rev (loss)	X	\$0.00	
Stormwater revenue		\$42.00	future revenue per development
<b>Total</b>	<b>\$0.00</b>	<b>\$881.00</b>	

Expenses	One Time	Reoccurring (annual)	
<b>Operating Budget</b>			
Police & Fire Service	0.00	0.00	
Street Lighting	7,500.00	1,607.00	
Traffic Controls	3,150.00	220.00	
Streets & Sanitation	0.00	3,540.00	
Subtotal	10,650.00	5,367.00	
<b>Capital Budget</b>			
Water	7,500.00	0.00	3 hydrants
Sewer	23,300.00	0.00	
Streets	5,459.00	0.00	
Subtotal	36,259.00	0.00	
<b>Grand Total</b>	<b>\$46,909.00</b>	<b>\$5,367.00</b>	

the annexation area contains approximately 74 acres of land that will be developed in the future. Based on 4 units per acre (single family development) and an average total market appraisal of \$200,000 (a conservative estimate compared to the abutting subdivision of Windridge), the City could realize an additional annual property tax revenue of \$288K+ per year. This revenue would be in addition to sewer taps, state shared revenue, and stormwater utility fees attributed to new growth.

## **Cleek Road Part 2 Annexation Plan of Services**

### **1. Police Protection**

- A. On the date of annexation the Kingsport Police Department will respond to all calls for service for police protection, including criminal calls, traffic accidents and traffic related occurrences, and other prevention and interdiction calls for service.
- B. Effective with annexation, all resources currently available within the Kingsport Police Department will become available to the citizens of the area. The Kingsport Police Department has an authorized accredited force of 116 police officers and approximately 60 civilian personnel to provide services 24-hours per day, 365 days a year.
- C. The Kingsport Police Department is accredited with the Commission on Accreditation for Law Enforcement Agencies and has met 358 mandatory and 72 other-than mandatory standards in order to attain this status. Kingsport Police Department was only the third accredited department in the State of Tennessee and the first in northeast Tennessee.
- D. Upon annexation, existing police department personnel will be utilized to provide services by expanding the contiguous patrol sections to include the newly incorporated area. Existing police personnel and equipment will be shifted to provide needed coverage of the area. Each section will be patrolled by units of the Kingsport Police Department and will be augmented by other departments and units such as investigators, specialized assigned details etc.
- E. When needed, the Kingsport Police Department will hire additional police officers to provide more response to annexed areas. The officers will undergo 450 hours of basic recruit training before being certified as a police officer. Upon completion of the classroom training, the officers will undergo 480 hours of field officer training where they will work and be trained by designated training officers.
- F. The Kingsport Police Department will provide upon request crime prevention programs, traffic safety education programs, drug education/awareness programs including D.A.R.E. to the citizens of the area. Additional programs include department personnel to address groups on law enforcement topics or concerns, home and business security checks and establishing and maintaining neighborhood watch programs.
- G. The Kingsport Police Department currently maintains an approximate 5 minute average response time to emergency and urgent calls within the corporate limits.

### **2. Fire Protection**

- A. On the operative date of annexation, the City of Kingsport will answer all calls for service for fire, disaster, hazardous materials, special rescue and medical first responder. The Kingsport Fire Department goes beyond the basic fire services required of a City Government.

- B. The City of Kingsport Fire Department is an Internationally Accredited Agency, one of only three in the State of Tennessee. We operate 7 fire stations, housing fire suppression, hazardous materials, rescue and other emergency equipment. Staffed by 94 full-time professional firefighters, 24 hours a day, 365 days a year to provide service. The City of Kingsport maintains a Class 3 insurance rating saving its residents the most possible on their insurance rates. Our response time average is approximately 4 minutes, 15 seconds after we receive the call from our dispatch center.
- C. Free fire safety inspections will be available upon request on the effective date of annexation. Water lines will be upgraded within five (5) years after the effective date of annexation to provide needed fire flow to protect the properties.
- D. All structures must be brought into compliance with the City-wide smoke detector ordinance within thirty (30) days of the effective date of annexation. This is strictly to provide residents with the best fire protection service available.
- E. The City of Kingsport Fire Department has a Hazardous Materials Response Team, which has state-of-the-art equipment to handle all calls of an emergency nature dealing with incidents relating to hazardous chemicals. The department also has a Technical Rescue Team that has specialized rescue capabilities and equipment for all types of hazards.
- F. The City of Kingsport Fire Department provides First Responder emergency medical services to all life-threatening medical emergencies resulting from serious illness or injury. We provide advanced life support (paramedics) for victims until ambulance service arrives for transport.

### **3. Water**

- A. Water will be billed at in City rates rather than out of City rates, which will result in a reduction in water rates for annexed citizens already receiving City water. Those not currently receiving City water will be required to obtain a water-tap in order to obtain City water.
- B. Water line upgrades and the installation of fire hydrants will commence for adequate fire protection and will be completed within five (5) years after the effective date of annexation.
- C. The City of Kingsport Water Department operates and maintains a 28 MGD water filtration plant, 22 water storage tanks, 15 water booster station and over 750 miles of waterlines. The water treatment plant is staffed by state certified operators 24 hours a day, 365 days a year to provide safe drinking water to our customers.
- D. The City of Kingsport Water Department meets or exceeds water quality standards set forth by the State of Tennessee and the United States Environmental Protection Agency. The plant was the recipient of the 2005 Julian Fleming Award for Outstanding Water Treatment Plants.

- E. The Kingsport Water Treatment Plant has a capacity of 28 MGD and an average daily demand of 15 MGD leaving a surplus capacity of approximately 18 MGD for increased demand.
- F. The Water Distribution Division is managed with a professional staff who are members of key professional organizations such as: American Water Works Association, Tennessee Association of Utility Districts, National Society of Professional Engineers, American Society of Civil Engineers. Several key members of the staff also hold certificates and licenses in the operations of a distribution system in the State of Tennessee.

#### **4. Electricity**

Electric service in this area is currently under the jurisdiction of AEP and is currently available. Street lighting will be provided generally within five years of the City of Kingsport's request for such service.

#### **5. Sanitary Sewer**

- A. City of Kingsport sanitary sewer will be installed and extended to the property within five (5) years after the effective date of annexation. Citizens in the annexed territory will be responsible and required to obtain a sewer-tap from the City of Kingsport before connection to the sanitary sewer system.
- B. Sanitary sewer fees are based on usage of water and are direct reflection of the amount of water used by the resident.
- C. The City of Kingsport operates and maintains a 12.4 MGD wastewater treatment plant, 88 sewer lift stations and approximately 525 miles of sanitary sewer collection lines in to provide sewer service to our customers.
- D. The City of Kingsport Wastewater Treatment Plant recently experienced over 21 million dollars of improvements to provide a reliable and dependable infrastructure.
- E. The wastewater treatment plant is staffed with State Certified Operators 24 hours a day, 365 days a year. Treatment plant operators exceed State of Tennessee training requirements.
- F. The Sewer Collection Division is managed with a professional staff who are members of key professional organizations such as: Water Environment Federation, Tennessee Association of Utility Districts, National Society of Professional Engineers, American Society of Civil Engineers. Several key members of the staff also hold certificates and licenses in the operations of a collection system in the State of Tennessee.

#### **6. Solid Waste Disposal**

Sanitation garbage (routine household refuse), trash (grass clippings, tree trimmings, bulky items), and recycling collection will be provided to the annexed area on the same basis as that received by properties located within the existing City Limits. Collection will begin within thirty (30) days following the effective date of annexation. Members of the

collection crews receive ongoing training in their fields. The City of Kingsport also owns and operates a demolition landfill that residents can use for a fee. That landfill is supervised by a SWANA certified Manager of Landfill Operations. This supervisor also holds other certifications from SWANA and TDEC.

## **7. Public Road/Street Construction & Repair**

- A. Emergency and routine maintenance of streets and street signs, pavement markings and other traffic control devices will begin on the operative date of annexation. Emergency pothole repairs are generally made within 24 hours of notification. Crews are available on a 24 hour basis for major emergency call-outs.
- B. Cleaning of streets of snow and ice clearing will begin on the operative date of annexation on the same basis as now provided within the present City limits. This includes major thoroughfares, State highways and emergency route to hospitals as first priority, with secondary/collector streets and finally residential streets in that order as priority II. Snow removal crews receive yearly training to help keep them up to date with changes in procedures and techniques. Snow removal crews also respond on a 24 hour emergency call in basis.
- C. Streets affected by utility construction will be repaired as soon as possible after the utility construction is completed.
- D. Routine Right of Way maintenance is also provided on the effective date of annexation. These crews include a certified Arborist, certified Pesticide Applicators, and other trained personnel to respond to emergencies and routine maintenance requests.
- E. The Streets and Sanitation Division is managed and supervised by a professional staff who are members in good standing of several Professional Organizations such as the Tennessee Chapter of the American Public Works Association, the national chapter of the American Public Works Association, the Volunteer Chapter of the Solid Waste Association of North America, the national chapter of the Solid Waste Association of North America, the Tennessee Urban Forestry Council, the Tennessee Nursery and Landscape Association, National Arbor Day Association, Tennessee Vegetation Management Association, and the Keep Kingsport Beautiful Council. The staff receives ongoing training through these Professional Organizations. Members of the staff are active in their respective organizations. Members of the staff also serve as trainers and instructors for various training venues.

## **8. Recreational Facilities**

- A. Residents of the annexed area may use existing City recreational facilities, programs, parks, etc. on the effective date of annexation at City rates rather than out of City rates.
- B. Residents of the annexed area may use all existing library facilities and will be exempt from the non-residential fee on the effective date of annexation.

- C. Residents of the annexed area (50 years or older) will be eligible to use the Senior Citizens Center with no non-residential fees and with transportation provided on the effective date of annexation.
- D. The Department of Parks and Recreation has more than 4,800 acres of city-owned land to provide parks and recreation programs to all our citizens. The amenities and programs offered by many of the parks and recreation areas through the Leisure Services Department include playing fields for baseball and softball, basketball courts, play grounds, volley ball, tennis courts, a skate park and concession areas and restrooms to serve these facilities. Other amenities offered include General meeting areas, multi-function areas, Community Centers, senior programs, Theater and Cultural Arts programs. Many of the parks have walking and hiking trails and Bays Mountain, the City's largest park, includes animal habitats, a farm area, camping sites, and a Planetarium.

## **9. Street Lighting**

Within five years of the operative date of annexation the City will take over responsibility (including payment) for dusk-to-dawn lights presently in place that meet City standards. The City will request that AEP install additional streetlights on collector-class and lower streets in accordance with the policy on roadway lighting within five (5) years of the effective date of annexation. Lighting on minor and major arterials will be installed per prevailing city policy.

## **10. Zoning Services**

- A. The area will be zoned R-1B (Residential District) and A-1 (Agricultural District).
- B. The Kingsport Regional Planning Commission is the comprehensive planning agency and administers zoning and land subdivision regulations for the City of Kingsport as provided in State law. The Kingsport Regional Planning Commission consists of nine (9) commissioners appointed by the Mayor of the City of Kingsport.
- C. The Kingsport Regional Planning Commission will exercise planning and zoning activities for the area being annexed upon the operative date of annexation.
- D. Appeals to the Zoning regulations are heard by the Board of Zoning Appeals and variances are granted if the request meets the criteria established for granting variances under Tennessee Code Annotated.

## **11. Schools**

- A. Upon annexation, children currently attending County schools will be allowed to attend City of Kingsport schools or remain in County schools per the prevailing County policy at the time.
- B. Tuition paid by non-city residents now attending City schools will cease upon the effective date of annexation and those students may continue to attend City schools without charge until graduation.

- C. Children at all grade levels may attend City schools tuition-free. Transportation will be provided for students, whose homes are more than 1.5 miles from their designated school, beginning with the school year following annexation.

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The previous sections are titled and listed in the order prescribed by Tennessee Code Annotated 6-51-102(b) (2). The following sections are provided by the City of Kingsport in addition to the minimum requirements.

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**12. Traffic Control**

The City will verify all street name signs and traffic control devices in accordance with the Manual on Uniform Traffic Control Devices.

**13. Inspection Services**

All inspection services now provided by the City on a fee basis (building, electrical, plumbing, gas, housing, sanitation, etc.) will begin in the annexed area on the effective date of annexation. A free safety inspection of plumbing vents will be required at the time sewer connections are made to make sure that proper protection is available to prevent sewer gas from entering houses.

**14. Animal Control**

Animal control service equivalent to that presently provided within the City will be extended to the annexed area on the effective date of annexation.

**15. Storm Sewers**

The installation of any needed storm sewers will be accomplished in accordance with existing standards and engineering principles provided for by present City policies. Maintenance of existing storm sewer and drainage systems is also provided on an as needed basis. Response to emergency storm drainage calls is also provided on a 24 hour call in basis.

**16. Leaf Removal**

The City will collect loose leaves with the vacuum truck between October 15 and January 15, and it will be provided to the annexation area on the same basis as it is currently provided to other City residents beginning on the effective date of annexation. Bagged leaves are collected year round. Leaves are transported to the City's Demolition Landfill where they are composted and used as an amendment to existing dirt stockpiles. This enhanced dirt is then used on City Projects for backfill and topsoil applications.

**17. Litter Control**

The City's litter control program will be extended to the area on the effective date of annexation. It is provided on a regular schedule along major routes and on an "as needed" basis throughout the City.

**18. Graffiti Control**

The City's graffiti control program, which is aimed at eliminating graffiti on public rights-of-way such as bridge abutments, street signs, railroad underpasses, and the like, will be extended to the area on the effective date of annexation. It is provided on an "as needed/on call" basis. Response time for "offensive" graffiti removal is generally within 48 hours.

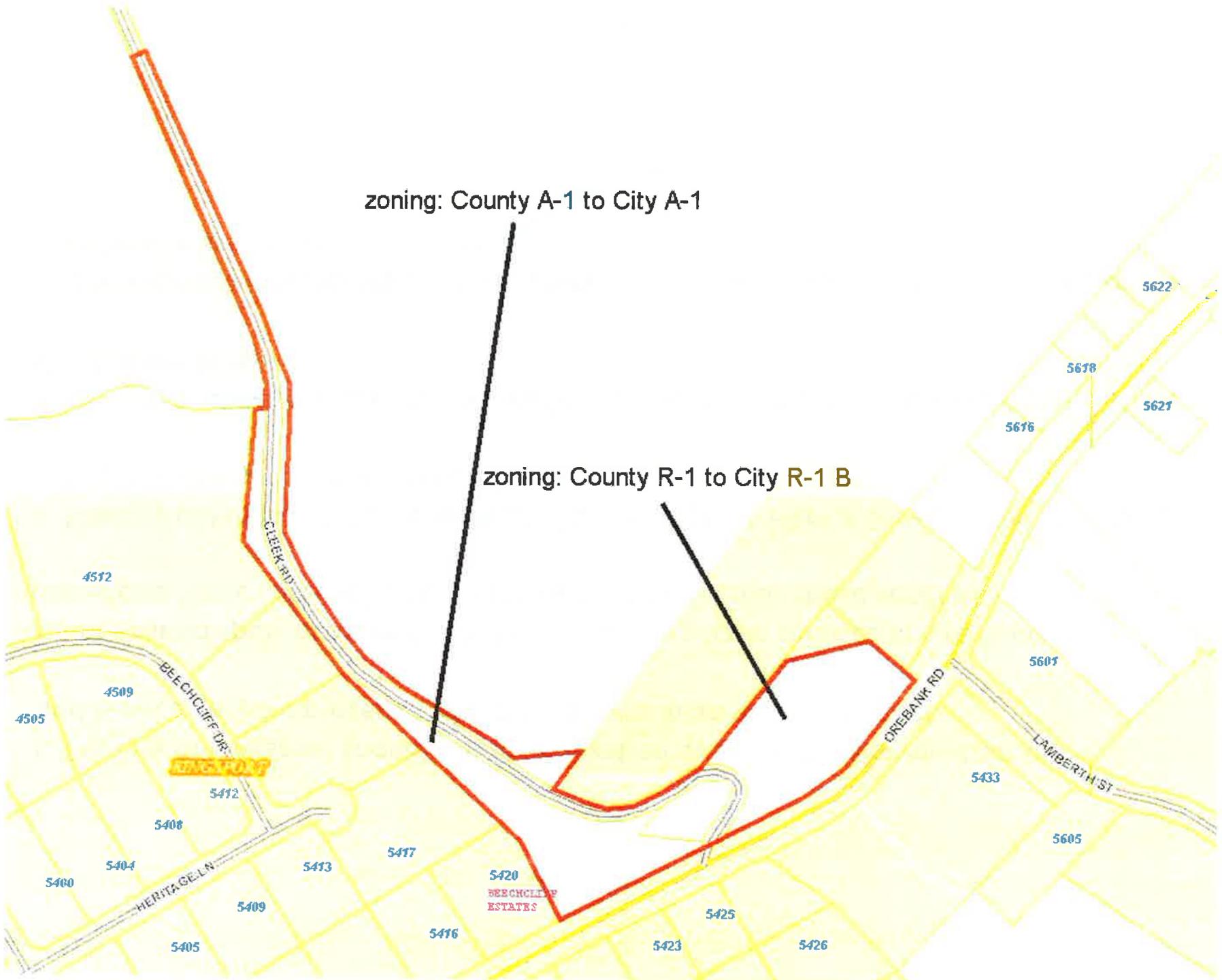
**19. Other Services**

All other services not classified under the foregoing headings such as Executive, Judicial, Legal, Personnel, Risk Management, Fleet Maintenance, Finance and Administration and other support services will be available upon the effective date of annexation.





zoning: County R-1 to City A-1



zoning: County A-1 to City A-1

zoning: County R-1 to City R-1 B

4512

4509

4505

**BEECHCLIFF**

5412

5408

5400

5404

5409

5413

5417

5420

BEECHCLIFF  
ESTATES

5416

5425

5423

5426

5622

5618

5627

5616

5601

5433

5605

5405

HERITAGE LN

DREBANK RD

LAMBERT LN ST

## Rationale

1. The City of Kingsport should utilize annexation as urban development occurs and is necessary for present and future growth in an orderly manner.
2. Annexation spurs economic growth by providing basic services at a reasonable cost and allows those costs to be spread fairly to all who enjoy those services.
3. The City of Kingsport can provide services through its Plan of Services that the County cannot provide to the residents of the area.
4. It is reasonably necessary for the welfare of the residents and property owners of the affected territory.
5. It is reasonably necessary for the welfare of the residents and property owners of the municipality as a whole.

**MEMORANDUM**

**TO:** KINGSFORT REGIONAL PLANNING COMMISSION

**FROM:** Forrest Koder, Planning Division

**DATE:** January 24, 2012 for the **February 16, 2012 Meeting**

**SUBJECT:** **Edinburgh Subdivision – Phase 2c-1 – Royal Mile Divide**

**PROJECT NO:** 11-201-00084

**INTRODUCTION**

Consider granting Preliminary plat approval for the Edinburgh Subdivision, Phase 2c-1 located adjacent to Royal Mile Divide. This is a major five-lot subdivision that is required to have city infrastructure improvements. The property is located inside the corporate limits of the City of Kingsport. It is further identified as a portion of Tax Map 119, Parcel 11.00 of the Sullivan County Tax Maps for 2010 and in 15<sup>th</sup> Civil District and is zoned PD, Planned Development District. The property owner is the Edinburgh Group and the surveying firm of BWSC, RLS prepared the subdivision plat.

**PRESENTATION**

The property owner is requesting preliminary plat approval before the Planning Commission for a total of five (5) lots out of the parent parcel. All proposed lots meet the minimum size requirements for the City PD zoning classification. The parcels will require extension of city utilities to serve them and the construction documents have been submitted to the Engineering Division for review. No variances have been requested. It should be noted that lot 82 was not part of the original Phase 2c nor was it part of the amended concept plan approved by the Commission in October of 2010. Our office has been informed that a new concept plan will be forthcoming for the Commission to review in the near future.

All other requirements of the *Minimum Subdivision Regulations for the City of Kingsport* have been met. Staff recommends the Planning Commission grant Preliminary Plat approval for the Edinburgh Subdivision Phase 2C-1 contingent upon meeting all Engineering Division requirements.

**OPTIONS**

The Planning Commission’s options are as follows:

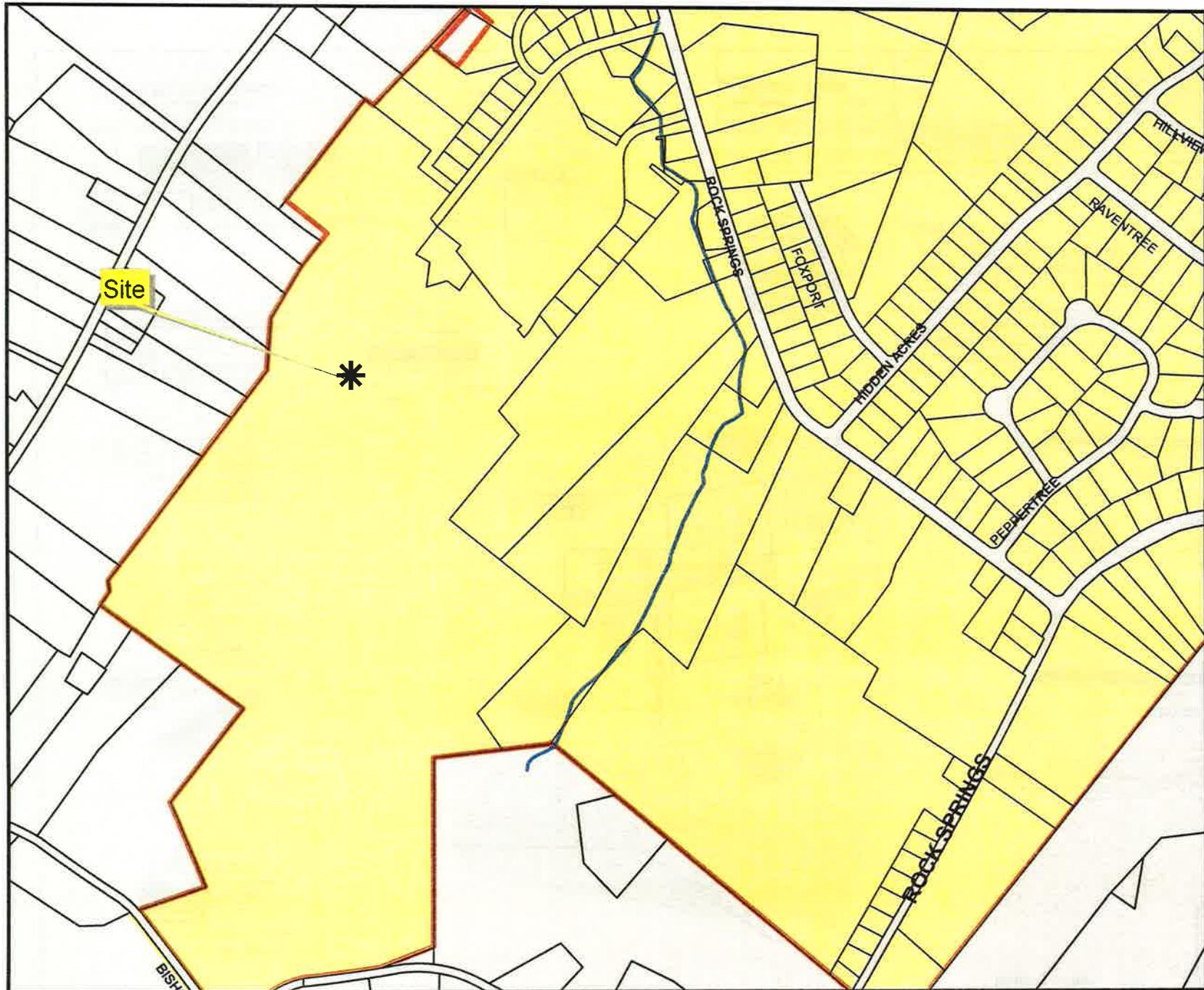
1. Grant Preliminary Plat approval for the Edinburgh Subdivision Phase 2C-1 contingent upon meeting all Engineering Division requirements.
2. Deny approval and state the reasons for denial in writing.

3. Postpone action pending receipt of additional information.

**RECOMMENDATION**

Staff recommends Option #1.

# Edinburgh Subdivision Phase 2c-1 Preliminary Plat



- LEGEND**
- 2007 Parcels
  - Streets
  - City Limits
  - River
  - UGBA



Edinburgh Subdivision - Phase 2c-1



**GOVERNMENT AND UTILITY ACCESS**

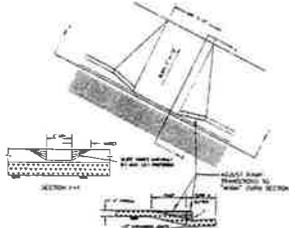
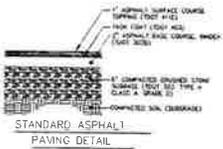
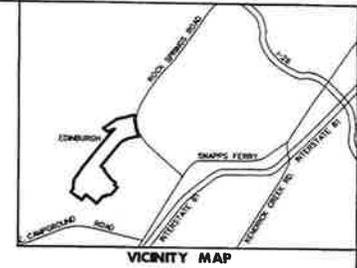
THE OWNERS OF THIS PROPERTY HEREBY AGREE TO GRANT FULL RIGHTS OF ACCESS TO THIS PROPERTY OVER THE DESIGNATED STREET UTILITIES AND OTHER EASEMENTS FOR GOVERNMENTAL AND UTILITY AGENCIES TO PERFORM THEIR NORMAL RESPONSIBILITIES.

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

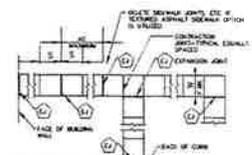
**MAINTENANCE OF COMMON OPEN SPACE**

THE OWNERS OF THIS PROPERTY HEREBY AGREE TO ASSUME FULL LIABILITY AND RESPONSIBILITY FOR THE IMPROVEMENT, MAINTENANCE AND OPERATION OF ALL COMMON OPEN SPACE.

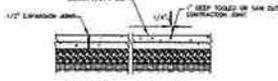
OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_



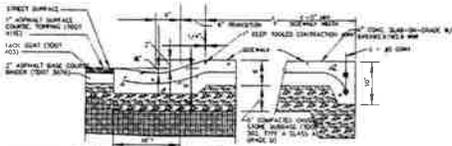
- 1. PARALLEL TRACKING OF THE SLOPE SHALL BE SHOWN BY CONTOUR GRIDDING, TRANSVERSE TO SLOPE.
- 2. CURB SHALL BE TYPED TO INDICATE A UNIFORM GRADE, PILE OF SLOPE AND GRADE CHANGES.
- 3. ELEVATIONS SHOWN ON 1/4\"/>



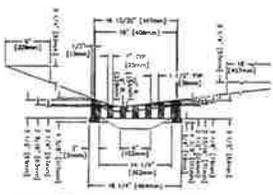
**TYPICAL SIDEWALK JOINT DETAIL**  
N.T.S.



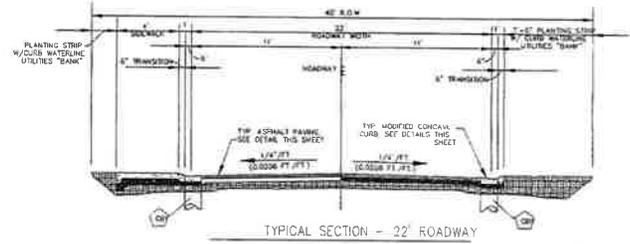
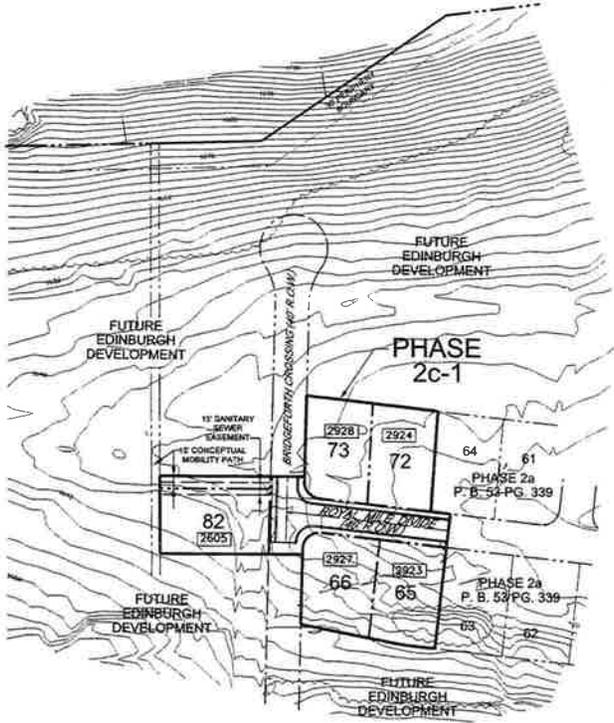
**TYPICAL SIDEWALK SECTION (CONCRETE)**  
N.T.S.



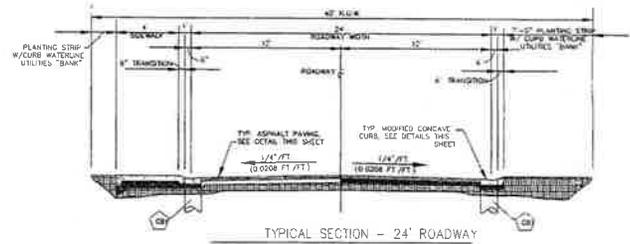
**MODIFIED: CONCAVE CURB AND QUARTER DETAIL (KINGSPORT CURB)**  
TO BE INSTALLED BY CURRENT PHASE 2



**'NEENAH' CONCAVE QUARTER GRATE**  
TO BE INSTALLED BY CURRENT PHASE 2



**TYPICAL SECTION - 22' ROADWAY**  
40' R.O.W.  
APPLIES AT INTERSECTION CROSSING



**TYPICAL SECTION - 24' ROADWAY**  
40' R.O.W.  
APPLIES AT RETAIL MILE DIVIDE

- NOTES**
1. THE HEARING BASE IS BASED ON THE "KINGSPORT GEODETIC REFERENCE NETWORK"
  2. THE VERTICAL DATUM AND CONTOUR INTERVAL IS PER 2010 ADINAL PROVIDED BY "TUM" ENGINEERING
  3. TYPICAL ROADWAY SECTIONS AND DETAILS PROVIDED BY SPODICH & WILSON ENGINEERS
  4. DEED REFERENCE: PARCEL 1100, TAX MAP 19, 15th CIVIL DISTRICT, D.B. 2378C P. 420
  5. PROPERTY IS ZONED P.O.
  6. THERE IS A 30 FOOT PERIPHERY YARD ALONG THE EXTERIOR BOUNDARY
  7. THERE IS A 15 FOOT UTILITY EASEMENT ALONG FRONT LOT LINES
  8. THERE IS A 15 FOOT SANITARY SEWER EASEMENT AS SHOWN ACROSS LOT 82
  9. THIS PROPERTY IS SHOWN ON FIRM COMMUNITY PANEL #4763C02300, REVISED SEPTEMBER 2008, AND DOES NOT LIE WITHIN THE SPECIAL FLOOD HAZARD AREA
  10. [2605] - 911 ADDRESS.

**DEVELOPER:**  
EDINBURGH GROUP  
1562 CRESCENT DRIVE  
KINGSPORT, TN 37684

**BWSC** | **BARBE WAGGONER SUMNER & CANNON, INC.**

FOUR SHERIDAN SQUARE, SUITE 100 KINGSPORT, TENNESSEE 37680  
PHONE: 423-241-9625 FAX: 423-241-6223  
www.barswaggoner.com

ENGINEERS ARCHITECTS PLANNERS LANDSCAPE ARCHITECTS SURVEYORS



<p>CERTIFICATE OF ACCURACY</p> <p>HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:50,000 AS SHOWN HEREON.</p> <p>DATE: <u>July 2012</u></p> <p>SURVEYOR: <u>NELSON ELAM</u></p>	<p>CERTIFICATE OF OWNERSHIP AND DEDICATION</p> <p>I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER (S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE, VOLUNTARY CONSENT LET FORTH ON THE BOUNDARY LINES AND DEDICATE ALL STREETS, ALLEYS, PARKS AND OTHER OPEN SPACE TO PUBLIC OR PRIVATE USE AS NOTED.</p> <p>DATE: _____</p> <p>OWNER: _____</p>	<p>PRELIMINARY PLAT EDINBURGH - PHASE 2c-1</p> <p>KINGSPORT REGIONAL PLANNING COMMISSION</p> <p>TOTAL ACRES <u>1.096</u> TOTAL LOTS <u>5</u></p> <p>ACRES NEW ROAD/ALLEYS <u>0.248</u> MILES NEW ROAD <u>0.0515</u></p> <p>OWNER <u>Edinburgh Group</u> CIVIL DISTRICT <u>15th</u></p> <p>SURVEYOR <u>NELSON ELAM</u> CLOSURE ERROR <u>1/10,000</u></p> <p>SCALE: 1" = 100'</p>
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MEMORANDUM

**TO:** Kingsport Regional Planning Commission

**FROM:** Forrest Koder, Principal Planner

**DATE:** January 25, 2012 for the **February 17, 2012 Meeting**

**SUBJECT:** **Reedy Creek Winery: Amendment to the Approved Development Plans**

**PROJECT #:** 11-105-00011

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**Introduction:**

Mr. Reedy, representing Reedy Creek Winery for this project is requesting the Planning Commission's approval to amend the approved development plans for the Meadowview Conference Center per Section 114-468(d) of the city's zoning code to allow the placement of Reedy Creek Winery on the site. Reedy Creek Winery would be located off Meadowview Parkway to the rear of the Executive Conference Center and multi-story parking garage in what was formerly the golf course maintenance building. The property is zoned BC, Business Conference Center District and the proposed use is permitted with this zone. This request is for Final Plan approval for all design items required within the Gateway District for this zoning district. The plans were designed by Rothe Green Architecture and Land Planning.

This proposal is required to be presented to the Gateway Commission tomorrow morning should a favorable vote take place tonight. This analysis is the same as will be presented to the Gateway Commission.

**Presentation:**

**Grading Plan:**

A grading plan is not required as the site is under an acre in area.

**Site Plan:**

The proposed development is comprised of one existing building, rectangular in shape, approximately 5,418 square feet in area. Additional 884 square feet will be provided once the winery sales area is added to the existing building. The existing facility is currently the maintenance building for Cattails Golf Course which will require relocation. Required setbacks in the BC district are 30 feet for the front yard, 0 or 12 feet for the side yard and 12 feet for the rear yard. The building meets the minimum setback requirements.

Parking is regulated by the underlying zoning district requirements of the BC zone. There is currently a parking lot and parking directly adjacent to this structure. Directly to

the north across the travel lane from the existing building is a multi-story parking garage. There is more than ample parking for this facility.

The addition will extend out from the northeast side of the existing building in the place of several parking spaces. The addition will house the sales office and includes a round Mediterranean stone feature. A full featured tasting room will also be included within the Executive Conference Center in the future.

### **Architectural Design – Materials – Colors:**

The existing facility is a split face painted block walls to ceiling finish height and includes metal vertical panels up to the roof line. In order to make this more in concert with Gateway regulations, the proposal is install a pergola type planted trellis along the front of the existing building with grape vines growing throughout the length of the trellis providing a covering to the entire length of the front facade. This will help subordinate the metal paneling above the split faced block wall and bring the space adjacent to the building down to a human scale. At the far end is the addition which will be the sales office with a stacked stone column and standing seam metal roof over the front entry. To the right of the entry is the rounded turret feature with stone walls and casement type openings for windows. The remaining front façade will be of stone and have a planting area in front of the exterior wall.

### **Lighting and Utilities:**

No additional lighting will be needed and the existing parking lot lights will illuminate the parking area and portions of the building. The entry door to the sales office will have a wall light in a style that will enhance the architectural style of the building.

### **Landscaping and Screening:**

Minimal landscaping is required for the addition. The Plan indicates grapevines planted along the trellis to grow up the trellis and in front of the new sales office there will be three new 2" caliper dogwood trees to repeat the existing one on the far right of the addition which was an island. There is a heat pump as you face the building on the right corner. Staff recommends screening this unit with either a type of material to match the material used in the trellis or using shrubs to screen this mechanical equipment.

### **Signs:**

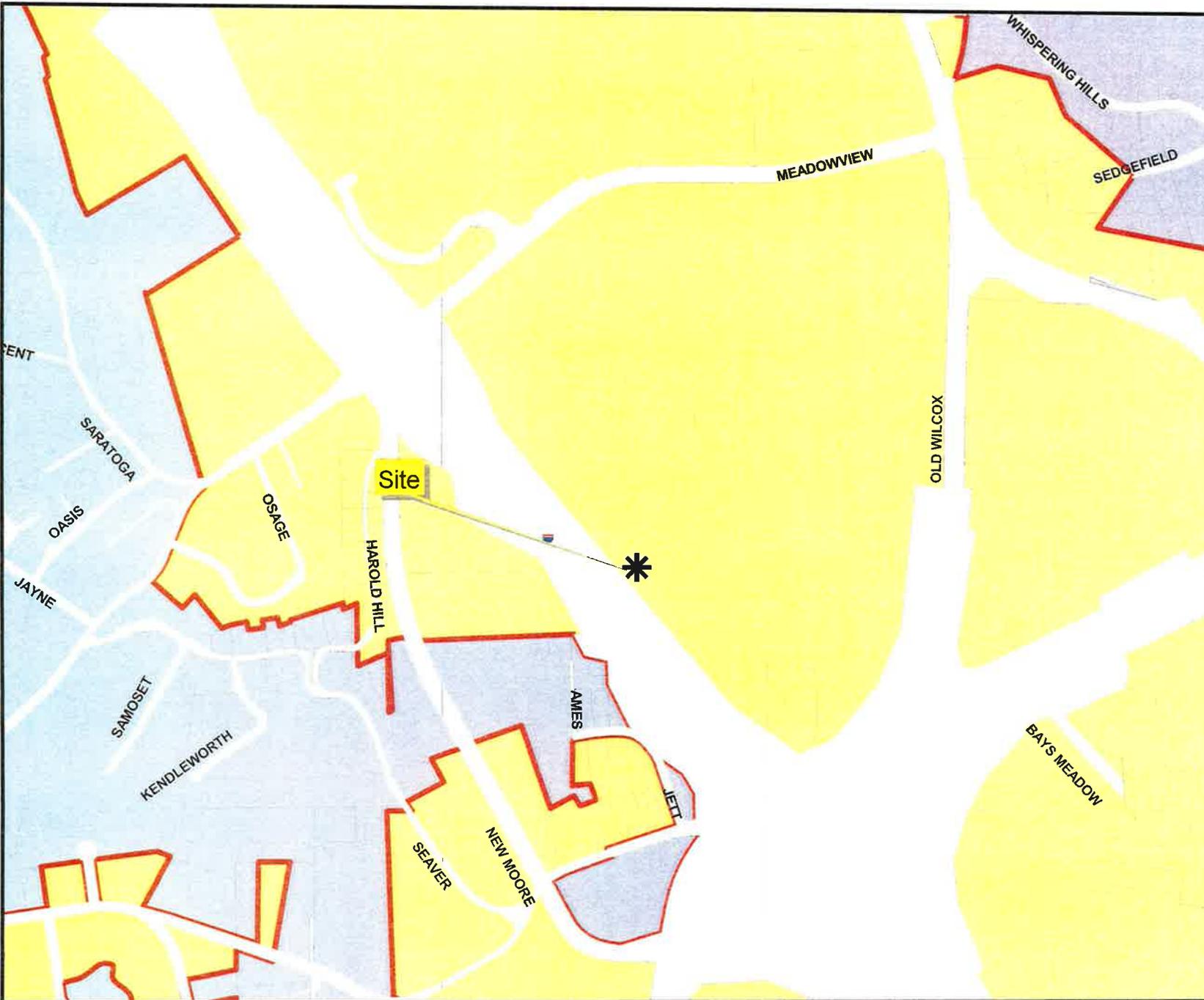
No signs are proposed at this time.

### **Options:**

1. Grant approval to the zoning development plan for Reedy Creek Winery contingent upon the changes staff recommended being implemented.
2. Deny approval and state the reasons for denial.
3. Postpone action pending receipt of additional information.

**Recommendation:** Grant approval to the zoning development plan for Reedy Creek Winery contingent upon the changes staff recommended being implemented.

# Reedy Creek Winery Amendment to BC Development Plan

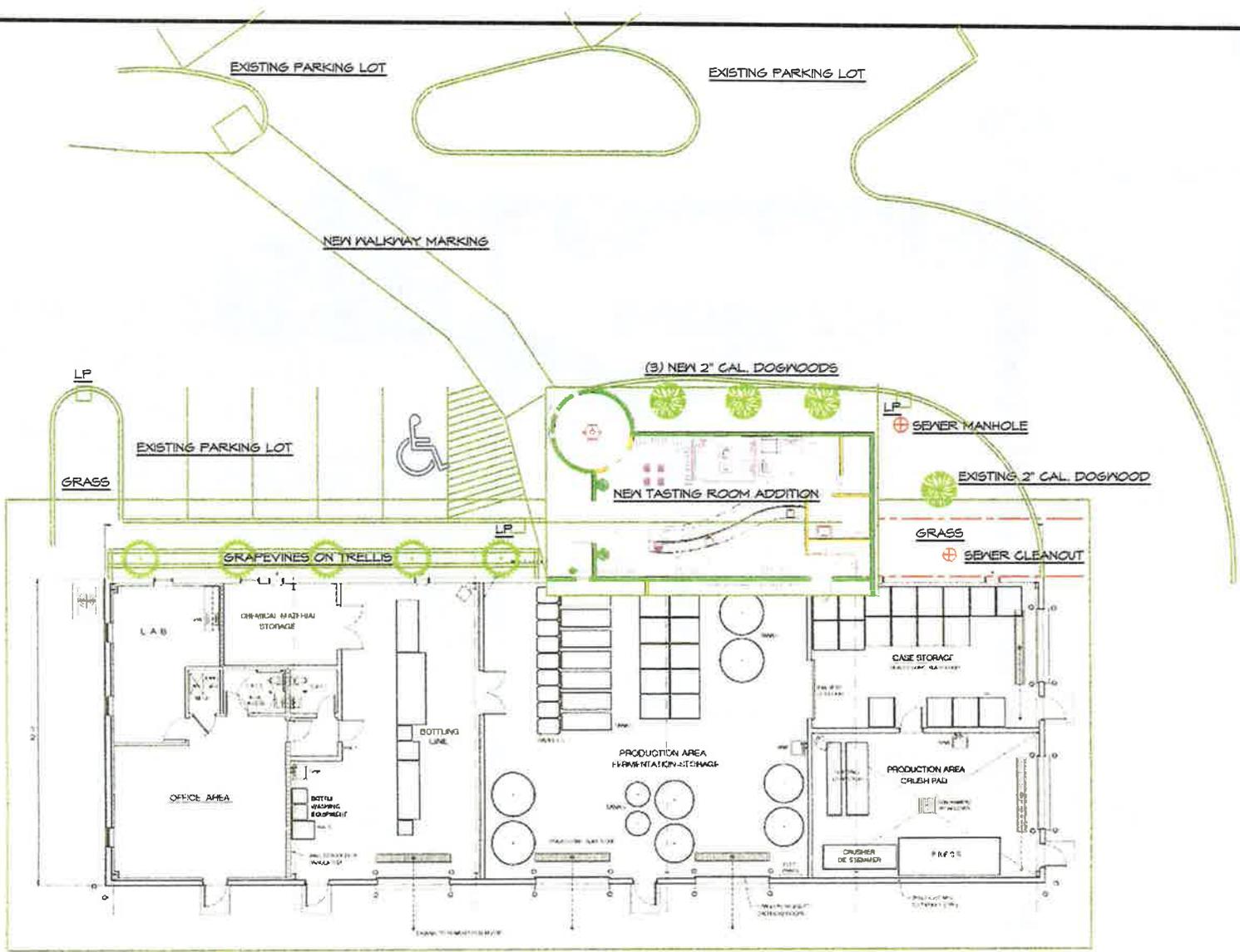


- LEGEND
- 2007 Parcels
  - Streets
  - City Limits
  - River
  - UGBA



Reedy Creek Winery





SCALE 1/8"=1'0"

PRODUCTION FACILITY LAYOUT BY ADS  
 EXISTING BUILDING  
 PRODUCTION FACILITY W/  
 TASTING ROOM ADDITION



REVISION	



**REEDY CREEK CELLARS**  
 KINGSFORD TENNESSEE  
 SITE AND FLOOR PLAN

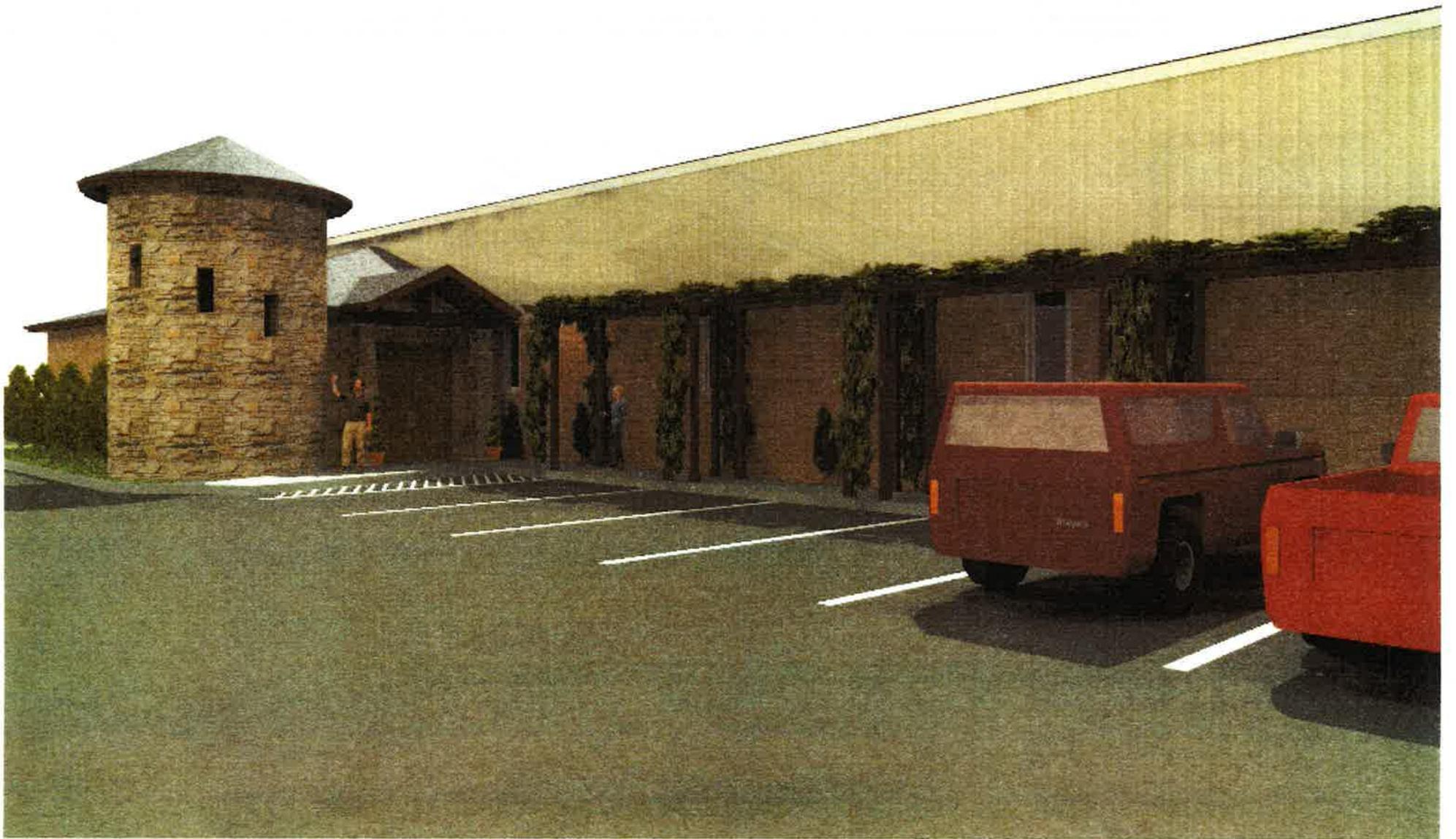
DATE: 08/04/2014 11:45 AM  
 DRAWN BY: ADS  
 CHECKED BY: ADS  
 SCALE: 1/8"=1'0"

133 LAMBERT ROAD  
 KINGSFORD, TN 37053  
 (615) 833-1111  
 WWW.ROTHANDASSOCIATES.COM

DRAWN BY: ADS  
 CHECKED BY: ADS  
 DATE: 08/04/2014  
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 JOB NO.: 133  
 SHEET: 1

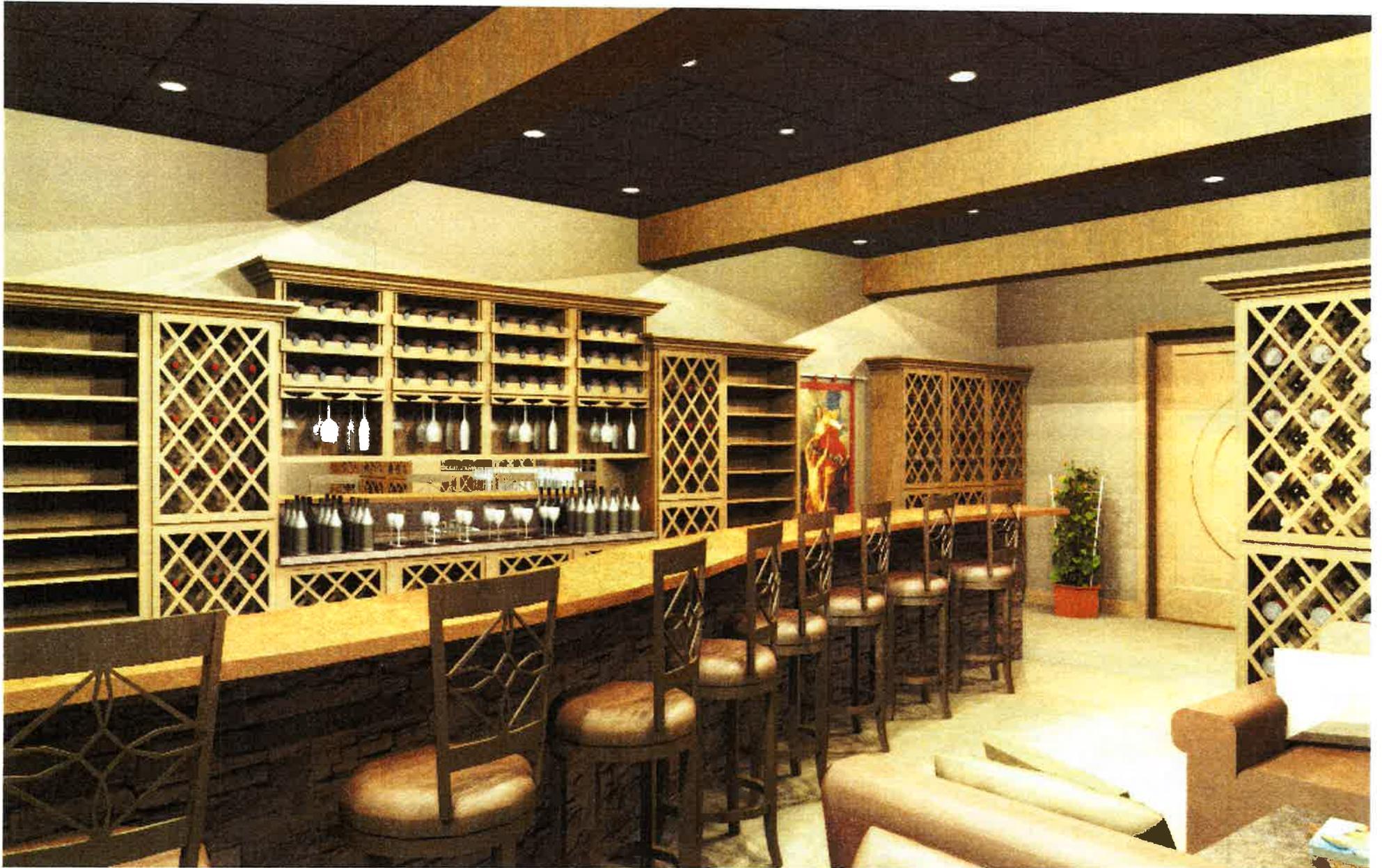
**A-3.1**











# Memorandum

**To:** Kingsport Regional Planning Commission

**From:** Forrest Koder – Planning Division

**Date:** 1/30/2012

**Re:** BC Sign Amendment – Additional Amendment to Section 114-1 Definitions

It has come to staff's attention from the City Attorney's office while reviewing the sign amendment change for the Business Conference District that we make reference two types of signs that are currently not addressed in our definitions section of the zoning code. In order to amend this section, we offer the following definitions for a complex and monument sign to amend *Section 114-1 – Definitions* of the zoning code.

*Sign, complex:* A freestanding sign for a commercial development containing one or more businesses on the same parcel, sharing common access, parking, or other amenities.

*Sign, Monument:* A permanent, freestanding sign mounted on a solid base and where the bottom of the sign face is typically located within three (3) feet of ground level.

This is definitely something that in hindsight was needed before now for monument signs as the Gateway District requires the use of monument signs. Staff supports sending a favorable recommendation to the Board of Mayor and Alderman on this amendment.

**Recommendation:**

Staff recommends sending a favorable recommendation to amend Section 114-1 Definitions to add a definition for complex sign and monument sign.

# Memorandum

**To:** Kingsport Regional Planning Commission

**From:** Forrest Koder – Planning Division

**Date:** 1/30/2012

**Re:** *Minimum Regulations for Subdivision Development within the Kingsport, Tennessee Planning Region - Final Draft for Adoption*

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The attached document is the final draft after the Planning Commission review on January 26, 2012. All previous changes that were approved by the Planning Commission have been changed from red to black text. Any recommended changes per the Planning Commission during its review session have been indicated by bold blue text. On the cover sheet of the document is a listing of all recommended changes by the Planning Commission with their respective page numbers.

Should the Commission find that these changes are in order; then staff recommends adoption of the amended *Minimum Regulations for Subdivision Development within the Kingsport, Tennessee Planning Region*.

**Recommendation:**

Staff recommends adopting the amended *Minimum Regulations for Subdivision Development within the Kingsport, Tennessee Planning Region*.

Kingsport Regional Planning Commission  
Suggested Amendments to Minimum Subdivision Regulations  
Work Session – January 26, 2012

<u>Change</u>	<u>Page</u>
Removed “Sullivan County” from Planning Region definition.	9
Definition of Traffic Calming – removed “the combination of mainly”	12
Left Planning Region in – Placed see definitions of in brackets	12
Removed “Open”	18
Removed “and personal names should be avoided”	30
Replaced “15,000 with 20,000”	32
Replaced “four with five and 4 with 5	35
Added “(See Engineering Department)” after last sentence	35
Added under Mobility Pathways “or if concrete is used, meet sidewalk design and construction specifications.”	36
Added “Mobility pathways must serve and be closely adjacent to all Units within the development.”	36
Under Subsection 2.3 Individual Sewerage System added the following Language:	37
<b>“Whenever a public sewerage system is not reasonably available and a community sewerage system is not feasible or is not acceptable, the developer may utilize subsurface sewage treatment systems provided the systems meet (TDEC) approval. The septic system, including associated field beds, must be located on the lot it serves.”</b>	37
Changed the word “deposited” with “submitted”	42

**MINIMUM REGULATIONS  
FOR  
SUBDIVISION DEVELOPMENT  
WITHIN  
THE KINGSPORT, TENNESSEE  
PLANNING REGION**

**DRAFT  
AUGUST 2010**

**As Amended by the Kingsport Regional Planning Commission  
January 26, 2012  
Work Session**

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**MINIMUM REGULATIONS  
FOR  
SUBDIVISION DEVELOPMENT  
WITHIN THE KINGSPORT, TENNESSEE PLANNING REGION**

**ARTICLE I  
PURPOSE, AUTHORITY AND JURISDICTION**

**1-1 PURPOSE AND INTENT**

The purpose and intent of these regulations is as follows:

- A. To encourage the development of sound, healthful, and economically stable residential, commercial, industrial, and public areas.
- B. To coordinate land developments to ensure that future physical growth will be orderly, efficient, and conducive to a minimum outlay of private and public expense in providing services to new growth areas.
- C. To minimize fire hazards, provide for safe, convenient and efficient traffic circulation, and provide for light and air in habitable structures.
- D. To provide for the overall harmonious development in conformance to the adopted comprehensive plan.

**1-2 AUTHORITY**

These regulations are adopted pursuant to the authority established in the Tennessee Code Annotated, Title XIII, Section 13-3-401 through 13-3-411 and Section 13-4-301 through Section 13-4-309. From and after the passage of these regulations the Planning Commission shall be the official planning authority and no plat or plan of land subdivision shall be recorded by the County Register of Sullivan or Hawkins County unless said plat has received final approval in writing by the Planning Commission.

**1-3 JURISDICTION**

These regulations shall govern all subdivision of land within the corporate limits of the City of Kingsport and within the Kingsport Planning Region.

**1-4 ADMINISTRATION**

It shall be the duty of the Director of Planning designated by the City of Kingsport, Tennessee, to administer and establish the procedures for the proper implementation of these regulations.

**1-5 APPLYING HIGHEST STANDARD**

Whenever the provisions of these regulations and those of any other regulation, ordinance, rule or other provision of law apply to the same subject matter, whichever provisions are more restrictive or impose higher standards shall govern and hold true for all provisions of these regulations.

**ARTICLE II  
DEFINITIONS**

**2-1 THE MEANING OF WORDS AND TERMS**

Terms not herein defined shall have their customary dictionary definitions where not inconsistent with the context. The terms "shall" and "will" are always mandatory, and the word "may" is permissive. When not inconsistent with the context, words used in the singular number include the plural, and those used in the plural number include the singular. Words used in the present tense include the future. The word "person" includes a firm, partnership or corporation as well as an individual. The word "lot" includes the words "plot" or "parcel." The word "building" includes the word "structure."

The Planning Commission's interpretation shall be final, absent to any appeal to the proper Court of this State, as to the meaning of any definition, statement, requirements, symbol, and/or abbreviation used in connection with these regulations or application thereof.

**2-2 DEFINITIONS**

**ARCHITECT** - An individual licensed and registered by the State of Tennessee to practice architecture in the State of Tennessee.

**BUILDING SETBACK** - A line beyond which no foundation wall or part of the structure of any building shall project with the exception of open walkways and the sub-surface projection of footings.

**BUILDING** - Any structure used or intended for supporting or sheltering any use or occupancy.

**BIKEWAYS** - A facility that is explicitly provided for non-motorized bicycle travel.

**CITY ENGINEER** – Or designated official of the City of Kingsport.

**COMMUNITY SEWER SYSTEM** - A central sewage system which is owned, operated, and maintained by a private corporation or non-profit property owners' association.

COMPREHENSIVE PLAN - The comprehensive plan for the Kingsport Area approved by the Planning Commission which may consist of such elements as major street and road plan, major thoroughfare plan, general land use plan, and other maps, data, and descriptive matter for the physical development of the urban area or any portions thereof, including any amendments, extensions, or additions thereto as adopted by the Planning Commission.

COUNTY HEALTH OFFICER – (Appropriate) County Health Officer.

COUNTY ROAD COMMISSIONER - (Appropriate) County Road Commissioner.

COUNTY REGISTER'S OFFICE - (Appropriate) County Register of Deeds office.

DEDICATION - The setting aside of land and/or improvements for a particular use.

DESIGN MANUALS - The manuals adopted by Sullivan County, City of Kingsport, Tennessee Department of Transportation, and the Tennessee Department of Environment and Conservation for design and specifications of roads, water mains, sanitary sewers, erosion and sediment control, and any amendments thereto.

DEVELOPER - See "SUBDIVIDER."

DIRECTOR OF PLANNING – Or designated official of the City of Kingsport.

EASEMENT - A grant by the owner of land for the use of such land by others including the public for a limited and specifically named purpose or purposes.

ENGINEER - An individual licensed and registered by the State of Tennessee to practice engineering in the State of Tennessee.

HEALTH DEPARTMENT - Tennessee Department of Environment and Conservation and Public Works Department for the City of Kingsport.

HIGHWAY DEPARTMENT - (Appropriate) Federal, State or County Highway Department.

INDIVIDUAL SEWAGE TREATMENT FACILITY - A sewage disposal system developed to function on an individual lot basis.

KINGSPORT GEODETIC REFERENCE NETWORK (KGRN 1990) - That network of control monuments established across the Kingsport Planning Region in 1990, each of which were located within the Tennessee State Plane Coordinate System by First Order GPS (Global Positioning System) methods and for which an elevation has been established by field-run levels to meet Second Order, Class I specifications.

LOT - A portion of land separated from other portions by description as on a subdivision plat or record of survey map as described by metes and bounds and intended for transfer of ownership or for building development. For the purposes of the regulation, the term does not include any portion of a dedicated right-of-way.

LOT, CORNER - A lot on which two or more adjoining sides abut on a public street.

LOT, DOUBLE FRONTAGE - A lot which runs through a block from street to street.

LOT, INTERIOR - A lot other than a corner lot.

LOT REVERSE FRONTAGE - A double frontage lot which has its vehicular access point limited to the back of the lot rather than having access on its front.

LOT WIDTH - The mean horizontal distance across the lot measured at right angles to the depth.

MAJOR STREET AND ROAD PLAN - See "COMPREHENSIVE PLAN."

MINOR SUBDIVISION - A subdivision consisting of ten lots or less having all required improvements available.

PERMANENT EASEMENT - An easement providing legal access from one or more lots to an existing highway, street, or thoroughfare. Maintenance of such permanent easements shall not be the responsibility of Municipality or County.

PLANNING COMMISSION - Kingsport Municipal/Regional Planning Commission.

PLANNING REGION - For the purpose of these regulations the area composed of territory of the Kingsport, Tennessee, municipality together with its Urban Growth Boundary.

PUBLIC WATER SYSTEM - A central water system owned, operated and maintained by a municipality, county, or utility district.

PLAT - The map, drawing or chart upon which the plan of subdivision is presented to the Planning Commission for approval.

PUBLIC USAGE - Public parks, schools, administrative, cultural or service buildings not including public land or buildings devoted solely to the storage and maintenance of equipment or material.

RESERVE STRIP - A portion of land set aside to limit and/or prohibit access.

RIGHT-OF-WAY - A portion of land being used, or proposed for use in the future, dedicated as a street, road, thoroughfare or crosswalk, pipeway, drainage canal, and/or similar use and designated by means of a right-of-way line.

ROAD -See "STREET."

ROADWAY - The portion of a street or right-of-way which contains the street pavement and curb and is used primarily as a channel for vehicular movement and secondarily as a drainage canal for storm water. In these regulations where curbs are required, the pavement is measured from the face to face of the curbs; without curbs is a measurement of the wearing surface.

SANITARY SEWERAGE SYSTEM - A municipal or community sewage disposal system of a type approved by the Tennessee Department of Environment and Conservation.

SECRETARY - A person designated by the Kingsport Municipal/Regional Planning Commission as the secretary.

STAFF - The employees of the City of Kingsport.

STORMWATER SYSTEM – The system of roadside drainage, roadside curbs and gutters, curb inlets, swales, catch basins, manholes, gutters, ditches, pipes, culverts, lakes, ponds, sinkholes, channels, creeks, streams, storm drains, water quality best management practices, and similar conveyances and facilities, both natural and manmade, located within the City which are designated or used for collecting, storing and conveying stormwater, or through which stormwater is collected, treated, stored or conveyed, whether owned or operated by the City or other owner/operator/person.

STREET - A general term used to describe a right-of-way which provides a channel for vehicular or pedestrian movement between certain points in the community, which may provide for vehicular, pedestrian and bicycle access to properties adjacent to it, and which may also provide space for the location of underground and aboveground utilities. STREETS are classified by functions as follows:

Freeways and Expressways - A freeway is a limited access facility designed for traffic requiring relatively high operating speeds and having relatively long operating distances.

Arterial Streets - Arterial streets are used primarily for the movement of vehicles, but may provide for vehicular access to adjacent property. When access to adjacent property is permitted, it should be by means of a marginal access type of street to serve several properties rather than permitting each property owner to have his own private driveway access point.

Collector Streets - Collector streets are used more for movement of vehicles than for providing access to adjoining properties. Access to adjacent property should be planned and controlled so that minimum disturbance is made to the traffic-moving efficiency of the major collector street. This class of streets has an average daily traffic projection of 3,001 to 6,999.

Non-Residential Streets - Non-residential streets are to be constructed in areas appropriately zoned, or proposed to be developed for uses other than residential.

Local Streets - This class of streets is primarily a residential street that serves the internal traffic movement within an area of the City, such as a subdivision, and connects this area with a higher classification of street system. This class of streets has an average daily traffic projection of 1,501 to 3,000 trips.

Residential Streets - Residential streets are used primarily for providing access to adjacent properties. Such streets usually carry no through traffic. This class of street has an average daily traffic projection of 251 to 1,500 trips.

Lanes – Residential streets primarily used as cul-de-sacs, loop streets, and courts. Such streets have an average daily traffic projection of 1 to 250 trips.

Marginal Access Streets - Marginal access streets are local or residential streets which are parallel to and adjacent to arterial streets and expressways. These streets provide access to abutting properties and protection from through traffic.

Dead End Streets - Dead End Streets are streets having only one opening and providing no access to another street. The closed end provides a turn-around for vehicles.

Alleys - Alleys are minor right-of-ways, dedicated to public use, which afford a secondary means of vehicular access to the back or side of properties otherwise abutting a street, and which may be used for public utility purposes.

**STREET FURNITURE** - Any improvements placed within the street right-of-way such as utility poles, street signs, benches, bus shelters etc.

**STREET WIDTH** – The width of the street as measured from back of curb to back of curb and as shown in the typical details in Appendix B.

**SUBDIVIDER** - An individual, partnership, corporation, or other legal entity or agent thereof which undertakes the activities covered by these regulations. Inasmuch as the subdivision plan drawings are merely a necessary means to the end of assuring satisfactory development, the term includes "owner" or "builder", even though the persons and their precise interests may vary at different project stages.

**SUBDIVISION** - The division of a tract or parcel of land as defined by the Tennessee Code Annotated.

**SURVEYOR** - An individual licensed and registered by the State of Tennessee to practice surveying in the State of Tennessee.

**TRACT** - A portion of land with definite and ascertainable limits or boundaries.

**TRAFFIC CALMING** – Physical measures that reduce the negative effects of motor vehicle use, alter driver behavior, and improve conditions for non-motorized street users. Examples of traffic calming devices include speed tables, diverters, neck-downs, chicanes, bump-outs and roundabouts.

**TRAFFIC PROJECTIONS** - For the purpose of these regulations average daily traffic projections shall be ten (10) trips for each single family residential lot, seven (7) trips for each condominium unit, and seven (7) trips for each apartment unit accessing a public street.

**UTILITY** - Any person, firm, corporation or municipal department or board duly authorized to furnish under federal, state or municipal regulations to the public electricity, gas, communications, transportation, water or sewer.

**ZONING REGULATIONS** - The duly adopted zoning regulations enacted by the City of Kingsport, or appropriate County.

### **ARTICLE III PROCEDURE FOR PLAT APPROVAL**

#### **3-1 SUBDIVISION PROCESS**

In order to secure review and approval of proposed subdivision by the Planning Commission, any owner of land lying within the City of Kingsport, Tennessee, or its Planning Region (see definitions) who wishes to subdivide such land shall prior to making any improvements or installations follow certain procedures as described below.

The review and approval of a Subdivision Plat consists of three separate steps. The initial step is optional and allows for submittal of a Sketch Plat and informational consultations with the planning staff. The second step involves the preparation and submission to the Planning Commission of a Preliminary Plat of the proposed subdivision. Step three is the preparation and submission to the Planning Commission of a Final Plat together with required certificates. This Final Plat becomes the instrument to be recorded in the County Register's Office when duly signed by the Secretary of the Planning Commission. The only exceptions are minor subdivisions of ten or fewer lots which do not involve the

construction or opening of new streets, water or sewer facilities, or other utilities. These subdivisions shall be accepted by the Planning Commission in the form of a Final Plat.

For the purpose of these regulations, the date of the regular meeting of the Planning Commission at which consideration of approval for the subdivision shall constitute the official submittal. The statutory period required for formal approval or disapproval of the plat shall commence at this meeting.

### **3-2 CONCEPT PLAN SUBMISSION**

The subdivider may visit the planning offices and discuss the effects of the official planning literature as well as general design standards, zoning and other related matters which might affect the proposed subdivision. In addition, the subdivider may submit pre-application plans and data for review, advice and assistance by the Planning Commission, City staff, County Road Commissioner, Tennessee Department of Environment and Conservation, or appropriate utility agency. Such professional assistance at this early stage may save time and prevent costly revisions to making formal application for plat approval. The concept plan may also be submitted to the Planning Commission for approval. A preliminary plat and construction plans can be prepared and approved based on this concept plan within two years of its approval.

### **3-3 CONCEPT PLAN CONTENT**

The Concept Plan should show the entire tract and contain the following:

- 3.1 The location of the proposed subdivision in relation to the neighborhood in which it is located;
- 3.2 A simple plan showing general layout of lots and streets, major drainage-ways and other features relevant to existing conditions on the site and adjoining street system;
- 3.3 General subdivision data including land characteristics, proposed community facilities and utilities, typical building sites, street widths, street cross sections, and contours where necessary.

### **3-4 PRELIMINARY PLAT & CONSTRUCTION PLANS SUBMISSION**

The purpose of the Preliminary Plat and Construction Plans is to safeguard the subdivider from unnecessary loss of time and expense of preparing a Subdivision Plat which does not conform to the specifications of the minimum standards for subdivision development and Design Standards adopted by the City. Public agencies having jurisdiction will review the Preliminary Plat and construction plans regarding matters within their jurisdiction.

The subdivider shall submit to the Kingsport Planning staff five (5) copies or electronic pdf format of the Preliminary Plat and construction plans for distribution to reviewing agencies as determined by the location of the site. Submission shall be on the **fifteenth** of the **prior** month in which the plat is to be considered by the Planning Commission. The following agencies may review the preliminary plat and construction plans.

**City Agencies**

Planning Department  
Transportation Department  
Public Works Department  
Building Department  
Engineering Department  
Fire Department  
Police Department  
Geographic Information System

**County Agencies**

Highway Department  
Zoning Department  
Emergency Communications District (911)

**3-5 PRELIMINARY PLAT AND CONSTRUCTION PLANS CONTENT**

The Preliminary Plat shall be prepared by a design professional and drawn on proper material to a scale of not less than one inch (1") equals one hundred feet (100').

5.1 Required Data:

- (A) Subdivision name, location map and total acreage of tract or parcel;
- (B) Subdivider and surveyor's name and address;
- (C) Date, graphic scale, and north arrow;
- (D) Location of existing physical features such as drainage systems, sanitary sewers, power lines, gas lines, water lines, buildings and water bodies;
- (E) Names, location, widths, and other dimensions of streets, alleys, easements and lot lines on adjoining property;
- (F) Current zoning and building setback lines;
- (G) Names of adjoining property owners of unplatted property;
- (H) Contours at not more than 5' intervals and note stating where the contours were derived;
- (I) One Percent annual chance flood area and drawn floodway boundary as defined by FEMA, or note stating the property is not subject to flooding based on the FEMA information;

- (J) The proposed location of two concrete monuments;
- (K) Location of any planting strips, signage, street plantings, sidewalks, or other features proposed as part of the public right-of-way;
- (L) Typical street cross sections.
- (M) Proposed utilities to be identified such as natural gas service, electrical service designating whether an overhead or an underground system will be utilized.
- (N) **No additional construction data will be reviewed or approved.**

The construction plans shall be submitted with the Preliminary Plat. These plans are to be prepared by a qualified professional licensed by the State of Tennessee, and meet all standards and regulations before being approved.

5.2 Required data construction plans:

- (A) Street Construction Plan including the following:
  1. Cover sheet with vicinity map and index of drawings.
  2. Plan and profile(s) of proposed streets.
  3. Detail plans plotted on plan and profile sheets sized 24" x 36", and to a minimum scale of one inch (1") = fifty feet (50') horizontal, and one inch (1") = ten feet (10') vertical.
  4. Plan section including the street and right of way plotted to the proper scale with stationing shown, which should match that of the profile as nearly as possible.
  5. Where conventional sections are used, the stabilization required for the roadside ditches, including the linear extent and type of stabilization required.
  6. Typical roadway sections, as appropriate.
  7. Profile section plotted to the same scale as identified above and including the proposed center line finish grade profile, in addition to the existing center line profile at 2' contours.
  8. All vertical control points on or pertaining to the proposed center line profile such as P.V.C., P.V.I., P.V.T., all low points, street intersections, all percent grade and vertical curve data.

9. All horizontal control points on or pertaining to the proposed center line alignment, such as P.C., P.I., P.T., radii, and angle of intersections.
10. Location and KGRN station number of any reference monument whose use may be required by any provision contained herein. A minimum of two control points shall be indicated.

(B) Stormwater Management Plan including the following:

1. Proposed and existing stormwater systems, including *drainage basins*, inlets, catch basins, junction boxes, culverts, cross drains, headwalls, and outlet facilities with location, size, type and slope and calculations as required by the City of Kingsport's Design Standard of the latest issue.
2. The location and size of the first drainage structure downstream of the development. This may be shown on a vicinity map not less than 1"=2000'.
3. Invert and top of grade elevations on all catch basins and inlets in addition to flow line elevations, stations, and percent grade of all cross drains and between inlets and catch basins.
4. Hydrologic and hydraulic calculations for appropriate design conditions and facilities. When sizing tiles and cross drains the contributing drainage basin shall be delineated on appropriate topographic maps.

(C) Grading Plan including the following:

1. Existing topographic contours at a maximum 2-foot interval.
2. Limits of proposed clearing, grading, filling and/or other land disturbing activities.
3. The design, construction, and maintenance details for soil and sediment control BMPs required to stabilize the site before clearing of site will commence.
4. Existing and proposed topography, wetlands, water courses, water bodies and sink holes, including intermittent and wet weather conveyances.

5. Proposed area alterations including property lines, existing easements and proposed structures, utilities, driveways and roads.
  6. Boundaries of designated floodplains and floodways.
  7. A general description of the existing and proposed land cover, but individual trees and shrubs do not need to be identified.
- (D) A copy of the *Tennessee Construction General Permit Notice of Intent* (NOI) and *Storm Water Pollution Prevention Plan* (SWPPP) submitted to TDEC for the land disturbing activities detailed in the erosion and sediment control plan.
- (E) Plan and Profile(s) of water lines and calculations;
- (F) Plan and Profile(s) of sewer lines and calculations;
- (G) Any required permits from applicable regulatory agencies.
- 5.3 Review by Individual Agencies: No *construction plans* shall be submitted to the Planning Commission without being reviewed by the City Engineer, City Public Works Director, County Road Commissioner, utility providers, as appropriate, or their designee. These agencies shall review the preliminary plat to the extent that each has jurisdiction within 15 days of receipt. If rejected, the agency shall provide the Planning Commission with a written statement specifying all reasons for rejection.
- 5.4 Elapsed Time: Unless a time extension has been requested by the subdivider and granted by the Commission all final plats shall be submitted within twenty-four (24) months of the approval date of the preliminary plat. Failure to meet this deadline will require resubmittal of the preliminary plat to the Planning Commission.
- 5.5 As Built Drawings Documents: Before the final plat is approved or bond is released, the subdivider shall submit to the City of Kingsport Engineering Department two hard copies or a digital copy of the As Built Drawings with transmittal letter containing date, Project title, Developer/Owner's name and address, list of documents, and signature of Developer/Owner. A licensed surveyor or engineer shall certify that the submitted As-Built Drawings accurately portray what has been built. The As-Built Drawings shall accurately illustrate the installed location of all utilities, roads, storm water facilities, and any other public infrastructure. The installed locations shall be verified by a certified survey showing dimensions, locations, elevations, profiles, and cross-sections of

construction. All easements and Rights-of-Way (ROW) shall be shown on the As-Built Drawings. The As-Built Drawings shall be standard size plan sheets (24" by 36") with a scale no greater than 1" = 50'.

### **3-6 FINAL PLAT SUBMISSION**

A Final Plat shows all property lines and other dimensions important for the accurate and legal transfer of property, and records the location of street lines, easements, utilities, and improvements.

Subsequent to the Preliminary Plat with Construction Plan approval and installation or bonding of improvements, the subdivider shall submit to the Planning staff **seven (7)** paper copies or electronic pdf format of the final plat for distribution to reviewing agencies as determined by the location of the site. Submission shall be on the **fifteenth** of the **prior** month in which the plat is to be considered by the Planning Commission. The following agencies may review the final plat.

#### **City Agencies**

Planning Department  
Transportation Department  
Public Works Department  
Building Department  
Engineering Department  
Fire Department  
Police Department  
Geographic Information System

#### **County Agencies**

Highway Department  
Planning and Zoning Department  
Emergency Communications District (911)

### **3-7 FINAL PLAT CONTENT**

The Final Subdivision Plat should be drawn to a scale of not less than one inch (1") equals one hundred feet (100') on a sheet 18 by 24 inches with a 1/2 inch border on all four sides.

#### **7.1 Required Data:**

- (A) Subdivision name, acreage of site, location map, north arrow, and subdivider's name;

- (B) A graphic scale and/or numerical scale;
- (C) Surveyors' stamp, name and registration number;
- (D) Streets on adjacent land;
- (E) Name and locations of adjoining properties;
- (F) Boundary lines of tract distinguished from adjacent property and length of courses to the nearest hundredth of a foot. In all cases where the tract being subdivided, either in whole or in part thereof, consists of less than five acres, the entire boundary of the tract, including all exterior lot lines as well as new interior subdivision lines, shall be shown on the plat to the nearest hundredth of a foot.
- (G) Location and KGRN station number of any reference monument whose use may be required by any provision contained herein;
- (H) Street names, bearings, angles of intersection, and width;
- (I) Arc-length, radii, chord bearing and distance;
- (J) Locations, widths, name and purpose of all easements;
- (K) All lot line distances expressed to the nearest one-hundredth of a foot and all lot line bearings expressed to the nearest minute of arc. There shall be an indication of the origin of the bearings used. For subdivisions that lie within two thousand (2,000) feet, as measured along the nearest public right-of-way, of an existing KGRN monument, there shall be a ground distance tie to that KGRN monument. The tie may be made using KGRN bearings or KGRN coordinates of two or more points within the subdivision. If KGRN bearings are used, there must be a statement as to whether or not the tie line has been reduced to sea level distances and if a scale factor has been applied. If KGRN coordinates are used, they must be reduced to sea level and have the proper scale factor applied with accompanying notation on the plat stating that these corrections have been made.

If the subdivision lies beyond two thousand (2000) feet, as measured along the nearest public right-of-way, of an existing KGRN monument, or if the developer so wishes, the City Engineering Department will establish KGRN coordinates on the reference monuments for the proposed subdivision using global

positioning at a specified charge to the developer prior to Final Approval.

- (L) Reservations and dedications indicated as to purpose on tract;
- (M) Lot numbers and block numbers, set-back lines with dimensions or notation that all lots conform to existing zoning ordinance;
- (N) Closure error of 1/10,000 or better;
- (O) One Percent annual chance flood area and drawn floodway boundary as defined by FEMA, or note stating the property is not subject to flooding based on the FEMA information.
- (P) All E-911 addresses.
- (Q) Any other data as required by the City Engineer.

7.2 Certifications:

- (A) Certification of the approval of streets and stormwater systems;
- (B) Certificate of approval for recording;
- (C) Certification of the approval for 911 addressing assignments;
- (D) Certificate of ownership and dedication;
- (E) Certification of the approval of sewer system;
- (F) Certificate of approval for street light payment;
- (G) Certification of the approval of water system;
- (H) Certificate of accuracy.

7.3 Additional information may be required where necessary.

**CERTIFICATION OF THE APPROVAL OF STREETS AND STORMWATER SYSTEMS**

I hereby certify: (1) that constructions plans have been approved: (2) that streets and storm water systems have been installed in an acceptable manner and according to the specifications: (3) adequate rights-of-way dedication upon an existing public road shall serve these lots as proposed.

\_\_\_\_\_ →  
Date

20 \_\_\_\_\_

\_\_\_\_\_  
City Engineer or County Road Commissioner



**CERTIFICATION OF THE APPROVAL OF SEWERAGE SYSTEM**

I hereby certify that the sewerage disposal system installed or proposed for installation fully meets the requirements of the Tennessee Department of Environment & Conservation and is hereby approved as shown.

\_\_\_\_\_, 20\_\_\_\_\_  
Date

\_\_\_\_\_  
Tennessee Department of Environment & Conservation

Or

\_\_\_\_\_  
Kingsport Authorizing Agent

***CERTIFICATE OF APPROVAL OF STREET LIGHTING SYSTEM***

*I hereby certify that the street light system designed for this subdivision complies with the City of Kingsport's policies on roadway lighting within the City of Kingsport, and any required charges for the purchase and installation have been met.*

\_\_\_\_\_, 20\_\_\_\_\_  
*Date*

\_\_\_\_\_  
*Traffic Engineering Manager*

**CERTIFICATE OF APPROVAL OF PUBLIC WATER SYSTEM**

I hereby certify that the public water utility system installed or proposed for installation fully meets the requirements of the \_\_\_\_\_ water utility system and is hereby approved as shown.

\_\_\_\_\_, 20\_\_\_\_\_  
Date

\_\_\_\_\_  
Authorizing Agent

**CERTIFICATE OF ACCURACY**

I hereby certify that the Plan shown and described hereon is a true and correct survey to the accuracy required by the Kingsport, Tennessee Regional Planning Commission and that the monuments have been placed as shown hereon.

\_\_\_\_\_, 20\_\_\_\_  
Date

\_\_\_\_\_  
Surveyor (or)

I hereby certify that this is a category \_\_\_\_\_ survey and the ratio of precision of the unadjusted survey is 1: \_\_\_\_\_ as shown hereon.

\_\_\_\_\_, 20\_\_\_\_  
Date

\_\_\_\_\_  
Surveyor TN. Reg. No.

**3-8 MINOR SUBDIVISION PROCEDURE**

Procedure for submitting Minor Subdivisions as defined in Article II is as follows:

**8.1 Submission**

The subdivider shall submit the plat to the staff on the **fifteenth** of the **prior** month it is to be considered for approval by the Planning Commission. Submission shall consist of paper copies.

**8.2 Review**

The platting information shall be the same as required for final plat approval. Under special circumstances where unusual topographic problems exist, the Planning Commission may require topographic information, a drainage plan, or a map showing existing utilities. If the staff determines that the Subdivision complies with such regulations governing a subdivision of land as adopted by the Planning Commission, the plat will be presented for approval.

### **3-9 TWO LOT SUBDIVISION**

The staff shall review plats for subdivisions consisting of two lots within thirty (30) days of submittal. Platting information for subdivisions consisting of two lots shall be the same as required for Minor Subdivisions. If the staff determines the subdivision complies with these regulations it may certify the plat in writing to the Secretary of the Planning Commission to be signed. After recording the Final Plat, the staff shall report to the Planning Commission at the next regular meeting action relative to two lot Subdivision Plats.

### **3-10 FIELD TRIPS**

The staff shall arrange for and conduct conferences with developers and field trips necessary for proper investigation of the Preliminary and Final Plats by affected City departments or area agencies and the Planning Commission.

### **3-11 NOTIFICATIONS**

The staff shall notify the developer of the public meeting to consider approval of the Preliminary and Final Plats. The subdivider, or his representative, shall attend the meeting at which the plat is to be considered. The Commission may deny approval if the subdivider is not represented.

### **3-12 APPROVAL OR DISAPPROVAL**

The Planning Commission shall receive the recommendations of its staff and approve or disapprove the plat. In the event that the Planning Commission fails to either approve or disapprove a plat within thirty-five (35) days of its presentation to the Planning Commission, such plat shall be deemed approved. If a plat is disapproved, reasons for such disapproval shall be stated in the minutes of the Planning Commission.

### **3-13 RECORDS**

The staff shall keep a record of all plats and Planning Commission actions.

**ARTICLE IV**  
**GENERAL REQUIREMENTS AND MINIMUM STANDARDS OF DESIGN**

The purpose of this section is to assure that sound subdivision development will take place within the jurisdiction of the Kingsport Regional Planning Commission by establishing minimum standards for use in the design of subdivisions.

**4-1 STREETS AND ROADS**

1.1 Conformity to the Major Street and Road Plan:

The subdivision of land and the design of roads servicing such land shall be undertaken in conformity with the Major Street and Road Plan adopted by the Kingsport Regional Planning Commission.

1.2 Relation to adjoining Road Systems:

The proposed road systems of a subdivision shall provide for the continuation of existing or platted streets in adjoining or nearby tracts. Where in the opinion of the Planning Commission, it is desirable to provide for street access to adjoining property, streets shall be extended to the boundary of such property. Multiple access points for subdivisions should be provided whenever possible.

1.3 Widths of rights-of-way and pavements shall be as follows:

- (A) Freeways and Expressways - As specified by the Tennessee Department of Transportation.
- (B) Arterial Streets - As specified by the Tennessee Department of Transportation.
- (C) Collector Streets - Collector streets are those shown on the latest revision of the Major Street and Road Plan for the Kingsport Planning Region and shall have minimum rights-of-ways as specified by the City Engineer and approved by the Planning Commission. (Take Out - and pavement widths as shown in documents recorded as part of that Plan.)
- (D) Non-Residential Streets - Non-residential streets shall have a minimum right-of-way of sixty feet (60') and a street width of thirty-three feet (33').
- (E) Local Streets - Local streets are designed primarily for the purpose described in its definition. This type street shall have right-of-way

width of fifty (50') feet and a minimum street width of twenty-nine feet (29') feet.

- (F) Residential Streets - Residential streets shall have a minimum right-of-way width of forty feet (50') and a minimum street width of twenty-five feet (25').
- (G) Lanes – Lanes shall have a minimum right-of-way width of forty feet (40') and a minimum street width of twenty-three feet (23').
- (H) Marginal Access Streets - When a tract fronts on an arterial street, expressway or collector, the Planning Commission may require such lots to be provided with frontage on a marginal access street or may require reverse frontage lots. Marginal Access Streets or Frontal Roads where required will be designed on a case by case basis.
- (I) Alleys - Alleys shall have a pavement and right-of-way width of fifteen feet (15') for one way traffic and twenty feet (20') for two way traffic.

Note: See Chart in Appendix A – Street Design Summary Chart

- (1) Alleys may be provided in residential, commercial, and industrial subdivisions. Alleys should be used to assure provisions are made for service access, such as off-street loading, unloading, and parking consistent with and adequate for the uses proposed.
- (2) Dead-end alleys shall be prohibited unless a turn-around is provided and if provided shall meet Lane requirements for a cul-de-sac.
- (J) Dead End Streets - Permanent Dead End Streets shall be no less than one hundred fifty feet (150') and no longer than one thousand two hundred fifty feet (1,250') measured along the centerline from the entrance street right-of-way to the center of the cul-de-sac. For local streets a cul-de-sac shall have a right-of-way radius of not less than fifty feet (50'), the diameter of the paved area eighty feet (80'). For residential streets and lanes, the right-of-way radius shall be forty feet (40'), and the diameter of the paved area sixty-five feet (65'). A transition curve radius of not less than seventy-five feet (75') for connecting the turnaround with the end of the street is required, and the maximum grade of the turnaround shall not exceed eight percent (8%). The Planning Commission may

require additional rights-of-ways and roadway improvements if variances are granted.

- (K) Temporary Dead End Street - Where a street is provided to give access to adjoining property, the street shall be constructed to the property line. Such streets shall be provided with a paved, temporary turn-around which will be dedicated as public. The turn-around will have a roadway diameter of sixty-five (65) feet. When the adjoining property is subdivided and the streets extended, that adjacent property owner shall be required to eliminate the temporary turn-around and install curbing to join the streets together. Where a street is provided to give access to adjoining property, and does not have any lots with frontage on said street, the street shall be constructed to the property line. Such streets shall not be required to provide a turn-around.
- (L) Additional Width on Existing Streets - Subdivisions that adjoin existing streets shall dedicate additional right-of-way to meet minimum street or width requirements or requirements specified in the Major Street and Road Plan. The entire right-of-way shall be provided where any part of the subdivision is located on both sides of the existing street. When the subdivision is located on only one side of an existing street, one-half (1/2) of the required right-of-way, measured from the center line of the existing roadway, shall be provided.

1.4 Grades of streets and roads shall be as follows:

- (A) Freeway and Expressway Maximum Grade - As specified by the Tennessee Department of Transportation.
- (B) Arterial Maximum Grade - As specified by the Tennessee Department of Transportation.
- (C) Collector and Non-Residential Maximum Grade - The maximum grade on Collector and Industrial Streets shall not exceed twelve percent (12%).
- (D) Local, Residential, Lanes, and Marginal Access Maximum Grade - The maximum grade on Minor Collector, Marginal Access, and Local Street shall not exceed fifteen percent (15%).

(E) Minimum Grade - The minimum grade of any street or road provided with curbs shall be not less than one-half of one percent (.5%).

1.5 For safety of travel, the minimum, horizontal curves, and vertical curves shall be as follows:

(A) Street Table

<u>STREET</u>	<u>SPEED</u>	<u>HORIZONTAL CURVE</u>	<u>VERTICAL CURVES</u>	<u>REQ. SIGHT DIST.</u>
1. Freeways, Arterials & Expressways as specified by the TDOT.				
2. Collector	30 mph	333 ft. /250* ft.	Crest 19 Sag 37	330'
3. Non-residential Street	30 mph	333 ft. /250* ft.	Crest 19 Sag 37	330'
4. Local	25 mph	200 ft.	Crest 12 Sag 26	275'
5. Residential	20 mph	100 ft.	Crest 12 Sag 26	220'
6. Lanes	20 mph	100 ft.	Crest 7 Sag 17	220'

\* Only allowed with a maximum of 4% urban super elevation.

(B) Tangents - All reverse curves and broken back curves shall have tangents as outlined below:

1. Tangents for Expressways and Arterial Streets - Reverse curves to broken back curves in road right-of-way shall be connected by tangents as specified by the Tennessee Department of Transportation.
2. Tangents for Reverse Curves - Reverse curves in road rights-of-way shall be connected by tangents of not less than one hundred twenty (120) feet for collector and non-residential streets, one hundred ten (110) feet for local and residential streets or one hundred (100) feet for lanes.
3. Tangents for Broken Back Curves - Broken back curves in road rights-of-way shall be connected by tangents of not less than one hundred ninety (190) feet for collector and non-residential streets, one hundred thirty (130) feet for local and residential streets, and one hundred (100) feet for lanes.

1.6 Intersections, Street Offsets, and Radii at Intersections - Requirements for intersection and streets offsets shall be as follows:

(A) Angle of Intersection - Streets shall be as nearly as possible at right angles, and in no case shall the intersection of street yield angles of less than sixty (60) degrees.

- (B) Grades at Intersections - The maximum grade of any street at the approach to an intersection shall not exceed five (5) percent for twenty-five (25) feet. This distance shall be measured from the nearest edge of pavement of the adjacent street. A vertical curve must be used to connect the five (5) percent or less grade at the approach with subsequent changes in grade, and shall begin at twenty-five (25) feet from the nearest edge of pavement of the intersecting street. The grade on the through street should remain constant.
- (C) Sight Distance at Intersections - Minimum corner sight distance shall be measured from a point on the minor road at least fifteen (15) feet from the edge of the major road pavement, and measured from the pavement surface to a height of eye at 3.5 feet on the minor road to a height of object at 3.5 feet above the pavement surface or the major road. See Table under 1.5A Street Table.
- (D) Street Offsets - A residential, local street, or lane entering opposite another similar street shall be designed directly opposite or with a minimum offset of one hundred and twenty-five (125) feet between their center lines. Collector streets shall have an offset of two hundred (200) feet and arterials shall have an offset of three hundred (300) feet.
- (E) Radii of Property Lines at Intersections - Radii of property lines at road intersection shall not be less than twenty feet (20') for residential, local streets, and lanes, and thirty feet (30') for collectors and non residential streets. Where an acute angle of less than seventy-five (75) degrees occurs between roads at their intersection, the radii of property lines may be required to be increased. Property line radii at intersections for expressways and arterial streets shall be as specified by the Tennessee Department of Transportation.

1.7 Other street and road specifications:

- (A) Street Names - Streets which are in alignment with existing streets shall bear the name of the existing streets. Street names shall not duplicate or closely approximate the names of existing streets within either Sullivan County or Kingsport Water Service area. The number of characters, including spaces, should not exceed twenty (20). Suffixes for street names may include Street, Avenue, Drive, Way, Lane, Place, Court, Boulevard, Parkway, Crossing,

Glen, Green, Path, Trail, Terrace, Trace, Square, Point, Loop, circle, as appropriate.

- (B) Street Lights - The City of Kingsport has an adopted set of design standards that establishes levels of illumination based on the classification of the roadway and the type of adjacent land uses. A local residential street requires a lower level of illumination than an arterial street in a commercial area that has higher vehicular volumes, higher speeds, more driveways and more median openings. These conditions are evaluated prior to requesting the preparation of a street lighting design plan. The Transportation Department will provide the desired level of illumination, type equipment to be used and other pertinent data needed, to the power company, to assist in the preparation of a design plan for the specific area.
- (C) Reserve Strips - Reserve strips controlling access to street or utilities shall be prohibited, unless required by the Planning Commission.
- (D) Permanent Easements - Permanent Easements may be used for access within Subdivisions, Planned Developments, Condominium Projects, and Apartment Complexes. Private streets within the permanent easement shall have the same right-of-way design standards and construction standards as public streets, and be inspected by the City Engineering Department or County Highway Department as appropriate.
- (E) Flood Elevation - Streets located within, but not crossing, a Flood Hazard area shall not be constructed lower than twelve inches below the identified 100-year flood elevation.

## 4-2 BLOCKS

The design of blocks in regard to length, width, and shape should reflect adequate provision for building sites, needs to access and circulation, and limitations created by topographic features.

### 2.1 LENGTH

Blocks shall be no less than three hundred (300) feet in length, except as the Planning Commission considers necessary to secure efficient use of land, or desired features of street pattern.

## 2.2 WIDTH

Blocks shall be wide enough to provide two (2) tiers of lots minimum depth except where abutting or adjacent to marginal access roads and major streets, or prevented by topographical conditions or size of the property.

## 4-3 LOTS

Land for subdivision purposes shall be so selected as to provide sound building sites on suitable lots. The design and preparation of lots shall be undertaken, and the approval of such lots shall be based on the following standards.

### 3.1 FLOOD-FREE BUILDING SITE

Each lot in a subdivision shall contain a flood-free building site outside of the limits of any existing easement and/or building setback lines as required by any applicable regulations. Building sites, and sites for drain fields shall not be traversed by water and/or drainage courses and ditches.

### 3.2 LOT ARRANGEMENT

Insofar as practical, side lot lines shall be at right angles to straight street lines or radial to curved street lines. The shape and orientation of lots shall be such as the Planning Commission deems appropriate for the type of development and use contemplated.

### 3.3 CONFORMANCE TO ZONING

Minimum requirements for lot size and setback requirements shall conform to those established under any zoning ordinance in effect. In no instance shall lot frontage be less than 50 feet along a public street, road or permanent easement.

### 3.4 AREAS NOT ZONED

Those areas where no zoning is in effect shall conform as follows:

- (A) Residential lots served by a public sewerage system shall not be less than fifty (50) feet wide at the building setback line, nor less than seventy-five hundred (7,500) square feet in area.
- (B) Residential lots not served by a public sewerage system shall be at least eighty (80) feet wide at the building setback line, and shall

provide a minimum area of **twenty thousand (20,000)** square feet. A larger area may be required for private sewage disposal by a public or private source of water supply if, in the opinion of the County Health Officer, there are factors of drainage, soil, or other conditions to cause potential health problems. The Planning Commission may require submission of test data as a basis for approval of subdivisions dependent upon private sewage disposal.

### 3.5 COMMERCIAL OR INDUSTRIAL PROPERTIES

Size of properties reserved or laid out for commercial or industrial properties shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated. Platting of individual lots should be avoided in favor of an overall design of the land to be used for such purposes.

### 3.6 BUILDING SETBACK LINES

The minimum depth of building setback lines shall conform to those established under the applicable Zoning Ordinance. In those areas where no zoning ordinance is in effect the front yard setback line shall be not less than thirty (30) feet from local and residential streets, and thirty-five (35) feet from all others. Minimum side yard requirements shall be not less than eight (8) feet on one side for all lots and a total minimum distance of fifteen (15) feet between building lines. Corner lots shall be sufficiently wider and larger to permit the additional side yard requirements of not less than thirty (30) feet from the side street right-of-way line to the building line.

### 3.7 DOUBLE FRONTAGE AND REVERSE FRONTAGE LOTS

Double frontage lots may be employed to prevent excessive vehicular driveway access to streets, or to separate residential areas from other areas of conflicting land use or traffic use.

### 3.8 LOT SHAPE

Excessive depth in relation to width or very irregular shaped lots may not be permitted.

### 3.9 RESERVATIONS AND DEDICATIONS ON TRACT

The accurate outline of all property which is either offered for dedication to the public use or which is reserved by covenant in the deeds for the

common use of the property owners in the subdivision shall be shown on the plat with the purpose printed thereon.

### 3.10 LOT NUMBERS, BLOCK NUMBERS AND SETBACK LINES

Lot numbers shall be in numerical order. Block numbers may be assigned by the City Planning staff. The front yard setback building lines with dimensions may be shown on the plat or noted to refer to zoning designations.

### 3.11 LOT SLOPE GRADING

No portion of any lot shall be graded greater than a 2-1 (horizontal: vertical) slope. Any slope failing to meet this requirement shall be designed by a professional engineer and submitted and reviewed for approval by the City of Kingsport.

### 3.12 TRAFFIC CALMING

Developers have the option to include traffic calming devices for any new development. Contact the Transportation Department for device placement and approved options.

## **ARTICLE V REQUIRED IMPROVEMENTS**

These standards for the design and construction of streets and utilities are established to ensure that all proposed subdivisions are provided with adequate, safe, and sufficient services.

### **5-1 Street, Road, Sidewalk, Pedestrian Mobility Path and Nature Trail Construction**

#### 1.1 Street Construction Plans

Street construction plans will show profiles of all streets (vertical and horizontal alignments), typical cross sections, natural and finished grades, vertical curves, horizontal curves, tangents, grades at intersections, angle of intersection, property line radii, intersection sight distances, street offsets, and sidewalk width and position. Plans shall be approved prior to street construction.

## 1.2 Centerline

The centerline of proposed streets that intersect existing roadways should be marked or flagged in the right-of-way of the existing roadway prior to preliminary approval from the Planning Commission.

## 1.3 Grading

The subdivider shall grade or fill horizontally all streets, roads, and alleys to the full width of their right-of-way. Due to special topographical conditions, deviation from the above will be allowed only with specific approval of the Planning Commission.

Preparation - Before grading is started the entire right-of-way area shall be cleared of all trees, stumps, roots, brush, and other objectionable materials.

Cuts - All tree stumps, boulders, and other obstructions shall be removed to a depth of two (2) feet below the sub-grade. Rock, when encountered, shall be scarified to the subgrade.

Fill - All suitable material from roadway cuts may be used in the construction of fills, approaches, or at other places as needed. Excess materials, including organic materials, soft clays, etc., shall be removed from the development site. The fill shall be spread in layers not to exceed six (6) inches loose and then compacted. The sub-grade shall be constructed as specified in the latest, "Standard Specifications for Road and Bridge Construction," Tennessee Department of Highways.

Slope Stabilization – Any terrain with a slope equal to or greater than 2:1 (horizontal:vertical) shall be stabilized by a professional engineered design and approved by the City of Kingsport Engineering Department.

## 1.4 Base Construction

A base course as shown on figures 1 and 2 of the typical street cross-sections in Appendix B shall be installed. The types of base to be placed on roads and streets shall not be of a lower classification than TRAFFIC BOUND MINERAL AGGREGATE SURFACE ROADWAY as specified under Section 303, "Standard Specifications for Road and Bridge Construction," Tennessee Department of Highways, and latest revisions thereto. The center line of the roadway shall coincide with the center line of the right-of-way dedicated for such road or street.

### 1.5 Binder

After a thoroughly compacted base has been established, an asphalt binder course shall be constructed as shown on the details in Appendix B, as specified under Section 307, "Standard Specifications for Road and Bridge Construction," Tennessee Department of Highways, and latest revisions.

### 1.6 Surface Course

The surface course as shown on the details in Appendix B shall be installed as specified under the latest "Standard Specifications for Road and Bridge Construction," Tennessee Department of Highways, and latest revisions thereto.

### 1.7 Curbs

Concrete curb or curb and gutter shall be installed on both sides of all new streets. The curbs shall be backfilled and the fill shall slope into the storm drainage system. In all cases, curbs shall be designed and installed per the City of Kingsport design standards and construction specifications. Where a temporary turnaround is provided, curb shall be extended to the end of the transition curve.

### 1.8 Sidewalks

(A) Sidewalks measuring a minimum of five feet in width are required on both sides of all streets in commercial subdivisions and a minimum of **five** feet in width in residential subdivisions with the following requirements:

1. Sidewalks are not required in minor subdivisions.
2. In Lanes with 40-foot right-of-ways, a minimum **5-foot** sidewalk is required on only one side of the street, as approved by the Planning Commission.
3. In a dead end street sidewalks may end at the transition curve of the cul-de-sac.
4. Sidewalks shall meet all applicable ADA/ADAAG standards.
5. Sidewalks in the right-of-way shall follow the grade of the adjacent street not to exceed 15%.
6. There shall be a minimum of a two-foot wide grassy strip between the back of the curb and the sidewalk in residential subdivisions.

Sidewalks shall be designed and constructed per the latest design standards and construction specifications. (See **Engineering Department**)

(B) Mobility Pathways are allowed as alternates to the sidewalk provisions in the Planned Development Zoning District. The technical specifications for a pedestrian mobility path are as follows:

#### Mobility Pathways

1. Mobility pathways shall be a minimum of eight (8) feet in width and constructed of asphalt.
2. Mobility pathways shall not exceed 15% grade.
3. A minimum of a six (6) inch compacted gravel base shall be installed as a sub-grade and extend a minimum of one foot beyond the edge of the paving.
4. A minimum of a two (2) inch thick hot asphalt surface mix shall be installed as the pavement surface or if concrete is used, meet sidewalks design and construction specifications.
5. Mobility pathways shall meet all applicable ADA/ADAAG standards.
6. Mobility pathways must serve and be closely adjacent to all units within the development.
7. Mobility pathways shall be submitted to and approved by the Planning Commission.

(C) Nature Trails within a development may be considered as an extra amenity and in conjunction with required sidewalks. The technical specifications for nature trails are as follows:

1. Nature trails shall be a minimum of eight (8) feet in width.
2. Nature trails shall meet all applicable ADA/ADAAG standards.
3. Nature trails shall be constructed of packed crushed stone, gravel fines compacted with a roller, packed soil or other natural materials bonded with synthetic materials to provide the required degree of stability and firmness to meet ADA requirements.
4. Nature trails shall be submitted to and approved by the Planning Commission. Exception: This does not apply to nature trails on private property.

#### 1.9 Street Signs

Street signs will be provided and installed by the City's Transportation Department for subdivisions within the City. If the subdivider chooses to use other than City standard street signs they must meet current Manual Uniform Traffic Control Devices standards and be approved by the City Transportation Department. It shall be the responsibility of the subdivider

to provide street signs as designated by the County Road Commissioner for subdivisions developed within the Planning Region.

## **5-2 Sanitary Sewerage Systems**

### **2.1 Public Sewerage System**

When the subdivision is located within the City, or the service area of a public sewerage system, sanitary sewers shall be installed by the developer and connected to the public system in accordance with TDEC and the City of Kingsport Construction Specifications and Design Standards.

### **2.2 Community Sewerage System**

Whenever a public sewerage system is not reasonably available and whenever acceptable to (TDEC) the developer may design the subdivision to be served by a community sewerage system.

### **2.3 Individual Sewerage System (Remove)**

Whenever a public sewerage system is not reasonably available and a community sewerage system is not feasible or is not acceptable, the developer may utilize subsurface sewage treatment systems provided the systems meet (TDEC) approval. The septic system, including associated field beds, must be located on the lot it serves.

## **5-3 Water Supply System**

Every subdivision shall be provided with a complete water distribution system adequate to serve the area (including adequate fire flow) being developed with lines, valves, and other water facilities needed to meet the needs of the subdivision. The City of Kingsport Construction Specifications and Design Standards copies are available thru the City of Kingsport Engineering Division. Also, the design standards of the State of Tennessee Department of Environment and Conservation Division of Water Supply, along with other State and Federal agencies whose regulations require certain approvals and permits must be obtained separately.

**5-4 Stormwater System**

The construction of storm sewers and stormwater management facilities shall be in accordance with the lines and grades shown on the approved plans and conform to the City of Kingsport Construction Specification and Design Standards latest issue.

**5-5 Erosion Prevention and Sediment Control**

To prevent soil erosion and sedimentation pollution, the subdivider shall comply with all requirements of the City of Kingsport Construction Specification and Design Standards.

**5-6 Street Lights**

Subdivisions within the City of Kingsport shall be served with street lights. The installation or payment of same shall be made prior to the granting of final approval by the Planning Commission. Procedures and responsibility for the installation and maintenance of street lights are as follows:

- (a) Subdivisions Served By An Underground Electrical System - When the subdivider determines that an underground electrical system will be a part of the amenities of the proposed subdivision, the decision also determines that a post-top street lighting system must be included as a part of the development requirements necessary to receive final approval by the Kingsport Regional Planning Commission. The City is responsible for the cost of power and maintenance for the system.
- 5-3 (b) Procedure For Design - On receipt of the approved preliminary plan, the Transportation Department will request the appropriate provider of electrical service design and provide a cost for the installation of a street lighting system in keeping with standards adopted by the City of Kingsport. The Transportation Department will inform the subdivider, in writing, of the installation cost in order that arrangements can be made to handle the financial obligations.
- 5-4 (c) Methods of Financing – Installation of street lighting systems is a requirement of the City of Kingsport. All financial arrangements for the street lighting system will be coordinated through the Transportation Department. Payment must be made to the City prior to final plat approval.

## **5-7 Easements**

Easements for new, or the continuation of existing, utilities shall be provided for all subdivisions with the width and other characteristics as required by the Planning Commission. Easement widths shall be fifteen (15) feet, and may run completely through one lot, or split along side or rear lot lines equally on both sides of such common lot line. The limits of easements shall include the stated width, location and bearings and distances as necessary for the reasonable exercise and use. Easements shall be provided outside the public right-of-way for maintenance of public streets when deemed necessary by the City Engineer or County Road Commissioner.

## **5-8 Monuments**

All major subdivisions which include improvements to the infrastructure (i.e. roads, water lines, sewer lines, etc...) shall have a minimum of two (2) permanent reference monuments. These monuments shall be tied to the current KGRN reference grid by either of the methods defined in Article 3. Final Plat Content, Section 7.1, (K) of these Regulations. An alternative to these methods shall be to directly tie the required monuments by utilizing a Global Positioning System (GPS) and providing the established state plane coordinates to the City Engineer for incorporation into KGRN. Each of the set monuments must be made of concrete and must have a ferrous metal core. An alternative to these materials may be commercial cast iron or cast aluminum with imbedded magnet monuments if approved by the City Engineer prior to Final Approval. Each monument shall be at least thirty inches in length, and shall be at least four inches in diameter or four inches square. The top of the monuments shall be flush with the finished grade and shall have a disc, provided by or approved by the City Engineering Department and stamped with the appropriate KGRN station number. These monuments shall be placed after all grading and paving is complete, shall be accessible from public streets, and preferably intervisible from one another. If possible, each monument should be placed a minimum of two hundred (200) feet apart.

- (a) The proposed locations of the required monuments shall be shown on the preliminary plat and final plat with coordinates.
- (b) All other corners in the subdivision which are not marked by a permanent monument shall be identified with iron pins which comply with the Minimum Standards of Practice of the Tennessee State Board of Examiners for Land Surveyors.
- (c) In the event that an existing KGRN reference monument is to be displaced by the construction of the proposed improvements, the developer shall show the monument on the preliminary plat and notify the City Engineering Department in writing prior to disturbing the monument.

- (d) Prior to Final Approval of the subdivision plat, the developer shall pay the City a designated fee for each required new reference monument to cover the cost of locating and incorporating the monuments within the Kingsport Geodetic Reference Network (KGRN). This fee does not apply to those surveyors who established the coordinate locations of the permanent monuments using GPS themselves and providing the City Engineering Department with that information.
- (e) All required permanent reference monuments and required metal monuments shall be in place after final grading is completed and/or prior to release of any Performance Bond established by the Kingsport Regional Planning Commission.

### **5-9 Public Open Spaces**

Where a school, park, or other use is shown on a General Community Plan and is located in whole or in part in a subdivision, the Planning Commission may require the reservation for public open space up to a total of ten (10) percent of the area of the subdivision for the City or County to purchase within a five year time period. Should the property not be purchased it would revert to the property owner.

### **5-10 Installation of Improvements**

All of the underground utilities and all service connections shall be installed completely, and approved by the appropriate agency throughout the length of the road and across the right-of-way section. Driveway permits shall be obtained from the Transportation Department prior to obtaining a building permit. All driveways for houses to be built by the subdivider shall be cut and drained. All utilities shall be developed in accordance with appropriate state, local, and utility agency requirements, and meet the design standards contained in Article IV of these regulations.

### **5-11 Inspection of Improvements**

All subdivisions shall be inspected by the City Engineer or the County Highway Department as appropriate. Sufficient inspections shall be made to ensure compliance with the specifications and standards set forth in these regulations. The developer should notify the appropriate agency of his intention to begin work five (5) days prior to commencing. This will provide time for scheduling inspection.

### **5-12 Guarantee of Improvements**

No final subdivision plat shall be approved by the Planning Commission or accepted for recording by the County Register of Deeds until all required improvements have been constructed in a satisfactory manner and approved by the Planning Commission. In lieu

of requiring the completion of all improvements prior to final plat approval, the Planning Commission, may at its discretion enter, into a contract with the subdivider whereby the subdivider agrees to complete all improvements required by the subdivision regulations or otherwise specified by the Kingsport Regional Planning Commission. The subdivider shall provide, in an amount specified by the City Engineer, or County Road Commissioner as appropriate, one of the following guarantees:

#### 12.1 Surety Bond

The subdivider shall obtain a surety bond from a surety bonding company authorized to do business in the State of Tennessee. The bond shall be payable to the City and shall be in the amount sufficient to cover the entire cost as provided by the City Engineer or County Road Commissioner. The duration of the bond shall be until such time as improvements are accepted by the approving agency.

#### 12.2 Escrow Account

The subdivider shall deposit cash, or other instrument readily convertible into cash at face value, either with the City, or in escrow with a federally insured financial institution. The use of any instrument other than cash, and in the case of an escrow account, the federally insured lending institution with which the funds are to be deposited shall be subject to the approval of the Kingsport Regional Planning Commission. The amount of the deposit shall be equal to the cost approved by the City Engineer or County Road Commissioner, of installing all required improvements. In the case of an escrow account, the subdivider shall file with the Kingsport Regional Planning Commission an agreement between the federally insured financial institution and the Kingsport Regional Planning Commission guaranteeing the following:

- (a) That the funds of said escrow account shall be held in trust until released by the Kingsport Regional Planning Commission and may not be used or pledged by the subdivider as security in any other matter during that period;
- (b) And that in the case of a failure on the part of the subdivider to complete said improvements, the federally insured financial institution shall immediately make the funds of said account available to the Planning Commission for use in the completion of those improvements.

### 12.3 Irrevocable Letter of Credit

The subdivider shall provide, from a federally insured financial institution, an irrevocable letter of credit. This letter of credit shall be **submitted to** the Kingsport Regional Planning Commission and shall certify the following:

- (a) That the creditor does guarantee funds in an amount equal to the cost, as estimated by the subdivider and approved by the City Engineer or County Road Commissioner of completing all required improvements.
- (b) That in the case of failure on the part of the subdivider to complete the specified improvements within the required time period, the creditor shall pay to the Planning Commission immediately and without further action, such funds as necessary to finance the completion of the improvements up to the limit of credit stated in the letter.

### 12.4 Use of Bond

The Commission may utilize the Performance Bond, in lieu of completion of required improvements and previous to the final approval of the plat for an assessment or other method, draw upon the Performance Bond whereby the municipality or county is put in an insured position to do the work and make the installation at the cost of the owners of the property within the subdivision.

## 5-13 Time Limits

Prior to granting final plat approval the subdivider and the Kingsport Regional Planning Commission shall agree upon a deadline of the completion of all required improvements, such a deadline not to exceed two years from the date of final approval. The Planning Commission shall have the power to extend that deadline for one (1) year increments where the subdivider can present substantial reasons for doing so, and agreement from the bonding company. The amount of the bond shall be re-evaluated for each requested extension.

## 5-14 Forfeiture of Guarantee

If any portion of the required improvement shall fail to be accepted for dedication within the allocated time period, either for reasons of incompleteness or for reasons of substandard construction, the subdivider will be notified that one of the following actions will be taken:

### 14.1 Declaration of Forfeiture

Where improvements have been guaranteed under provisions of the subdivision regulations, the Kingsport Regional Planning Commission shall declare whatever security has been pledged as a guarantee to be forfeited.

#### 14.2 Possession of Securities

Where the Kingsport Regional Planning Commission is not already in possession of said guarantee it shall immediately take the actions necessary to obtain it. Upon receipt of these securities the Planning Commission shall use them or receipts from their sale if that is necessary to finance the completion of the contract and improvements for the rebuilding of such improvements to proper specifications.

#### 14.3 Unused Securities

Unused portions of these securities shall be returned to the subdivider, bonding company or crediting institution as is appropriate.

### **5-16 Reduction of Guarantee**

In cases where partial improvements have been made under provisions of the subdivision regulations the amount of the guarantee may be reduced upon compliance with the inspections and certifications by the City Engineer or County Road Commissioner and the dedication of a portion of the required improvements. The amount of the reduction shall not exceed the percentage of the improvements which have been completed. In no case, however, shall the Kingsport Regional Planning Commission reduce the improvement guarantees to less than 15% of the original amount until all work is complete.

### **5-17 Release of Guarantee**

The Planning Commission shall formally release the guarantee once all required improvements are installed and approved by the appropriate agency.

## **ARTICLE VI GENERAL PROVISIONS**

### **6-1 Area of Jurisdiction**

These regulations shall govern all subdivisions of land within the corporate limits of Kingsport and/or within the Kingsport Planning Region.

## **6-2 Increased Standards**

The Planning Commission may require standards above the minimum contained herein whenever it feels the public health, safety and welfare justifies such increases.

## **6-3 Variances**

Where the Planning Commission finds that extraordinary hardships or particular difficulties may result from the strict compliance with these regulations, it may, after written application by the developer, grant variances to the regulations, subject to specified conditions, so that substantial justice may be done and the public interest secured, provided that such variances shall not have the effect of nullifying the intent and purpose of these regulations. The Planning Commission shall not grant variances to these regulations unless they shall make findings based upon the evidence presented to them in each specific case that:

### **3.1 Physical Surroundings**

Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations was adhered to.

### **3.2 Unique Conditions**

The conditions upon which the request for a variance is based are unique to the property for which the variance is sought and are not applicable, generally, to other property, and have not been created by any person having an interest in the property. A variance shall not be based exclusively upon a desire for financial gain.

### **3.3 Detriment to Public Safety**

The granting of the variance will not be detrimental to the public safety, health or welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

## **6-4 Amendments**

The Planning Commission may from time to time revise or modify or amend these regulations by appropriate action taken at a regularly scheduled meeting after the required notice and holding of a public hearing.

## **6-5 Enforcement and Penalties for Violations**

The enforcement of these regulations and penalties for the unapproved recording or transfer of land is provided by state law in the authority granted by public acts of the State of Tennessee. The following procedures are provided in the Tennessee Code Annotated for the enforcement of subdivision regulations:

### **5.1 Recording**

No plat or plan of a subdivision of land into two or more lots located within the area of planning jurisdiction shall be admitted to the land records of the county or received or recorded by the County Register of Deeds until said plat or plan has received final approval in writing by the Planning Commission as provided in Section 13-4-302 and Section 13-3-402, Tennessee Code Annotated.

### **5.2 Acceptance of Streets and Utilities**

No board, public officer, or authority shall light any street, lay or authorize the laying of water mains or sewers, or the construction of other facilities or utilities in any street located within the area of planning jurisdiction unless such street shall have been accepted, opened, or otherwise received the legal status of a public street prior to the adoption of these regulations, or unless such street corresponds in its location and lines to a street shown on a subdivision plat approved by the Planning Commission, or on a street plan made and adopted by the Planning Commission as provided in Section 13-4-303 and Section 13-3-403, Tennessee Code Annotated. Acceptance of a new street shall not be complete until approved by the Planning Commission on a subdivision plat and approved by the Board of Mayor and Aldermen or County Commission by resolution.

## **6-6 Penalties**

For violation of these regulations, the following penalties are provided by the Tennessee Code Annotated:

### **6.1 Recording**

No county register shall receive, file, or record a plat of a subdivision within the planning region without the approval of the Planning Commission as required in Section 13-4-302 and Section 13-3-402, Tennessee Code Annotated; and any county register so doing shall be deemed guilty of a misdemeanor, punishable as other misdemeanors as provided by law.

## 6.2 Transfer or Sale of Land

Section 13-3-410 and Section 13-4-306, Tennessee Code Annotated provides that whoever being the owner, or agent of the owner, of any land, transfers or sells or agrees to sell or negotiates to sell such land by reference to or exhibition of or by other use of a plat of subdivision of such land without having submitted a plat of such subdivision to the Planning Commission and obtained its approval as required before such plat is recorded in the office of the appropriate county register, shall be deemed guilty of a misdemeanor, punishable as other misdemeanors as provided by law; and the description by metes and bounds in the instrument of transfer or other document used in the process of selling or transferring shall not exempt the transaction from such penalties. The municipality, through its solicitor or their official designated by its chief legislative body and/or the county attorney or other officials designated by the County Commission, may enjoin such transfer or sale or agreement by action or injunction.

## 6.3 Erection of Structures

Any building or structure erected in violation of the subdivision regulations shall be deemed an unlawful building or structure, and the Building Official or other official designated by the chief legislative body may bring action to enjoin such erection or cause it to be vacated or removed as provided in Section 13-3-411 and Section 13-4-308, Tennessee Code Annotated.

## 6-7 Fees

The subdivider shall, at the time of submission of the preliminary plat, and/or final plat, pay a fee as adopted by the Kingsport Board of Mayor and Aldermen.

## 6-8 Separability

Should any section, subsection, paragraph, or provision of these regulations be held invalid or unenforceable by a court of competent jurisdiction, such decision shall in no way affect the validity of any other provision of these regulations.

## 6-9 Repealer

All regulations in conflict with the provisions of these requirements are hereby repealed; except that all plats having preliminary approval prior to the adoption of these regulations will be governed by all previous regulations for a period of twenty-four (24) months from

the date of preliminary approval. At the end of that period all preliminary approvals granted will be subject to the requirements of these regulations.

**6-10 Public Hearing, Adoption, and Effective Date**

Before adoption of these regulations, a public hearing as required by Sections 13-4-303 and 13-3-403, Tennessee Code Annotated, was afforded any interested person or persons and was held on **XXXXXXXXXX**. Notice of said hearing was announced in the Kingsport Times News, being a newspaper of general circulation in Sullivan and Hawkins Counties and within the Kingsport Planning Region. These formal regulations shall be in full force and effect from and after their adoption and effective date.

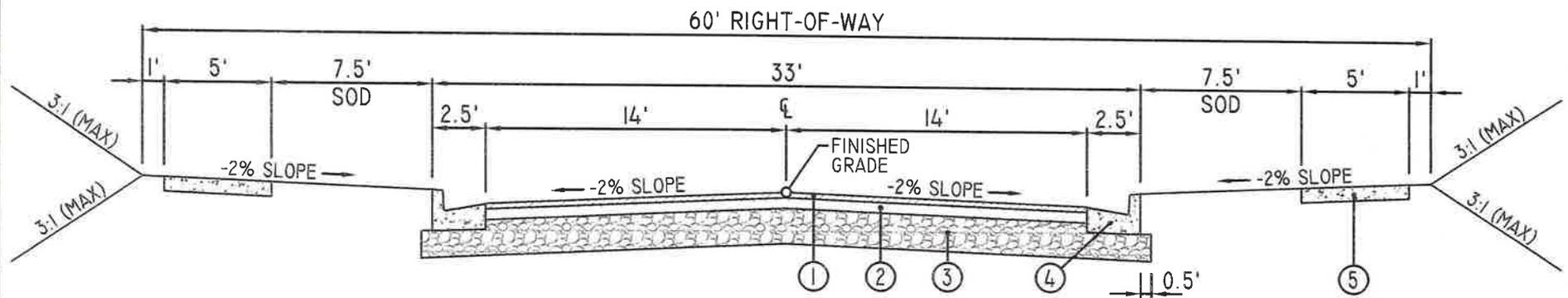
**Adopted:** \_\_\_\_\_  
(date)

\_\_\_\_\_  
Secretary  
Kingsport Regional Planning Commission

**APPENDIX A**  
**STREET DESIGN SUMMARY CHART**

<b>Street Type</b>	<b>Minimum ROW Width</b>	<b>Street Width (Back of Curb to Back of Curb)</b>	<b>Design Parameters</b>
Freeways & Expressways	As Specified By TDOT	As Specified By TDOT	As Specified By TDOT
Arterial Streets	As Specified By TDOT	As Specified By TDOT	As Specified By TDOT
Collector Streets	As Specified By the Major Street and Road Plan	As Specified By the City Engineer & approved by the Planning Commission	Class of streets serves 3,001 to 6,999 trips per day
Non-Residential Streets	60 feet wide	Minimum 33 feet	Class of streets serves areas developed for non-residential uses
Local Streets	50 feet wide	Minimum 29 feet	Class of streets serves 1,501 to 3000 trips per day
Residential Streets	50 feet wide	Minimum 25 feet	Class of streets serves 251 to 1,500 trips per day
Lanes	40 feet wide	Minimum 23 feet	Class of streets serves 1 to 250 trips per day
Alleys	15 feet wide or 20 feet depending on one way or two way alley.	15 feet one way and 20 feet for two way.	Class serves as a secondary means of access.

**APPENDIX B**  
**DESIGN SPECIFICATIONS**



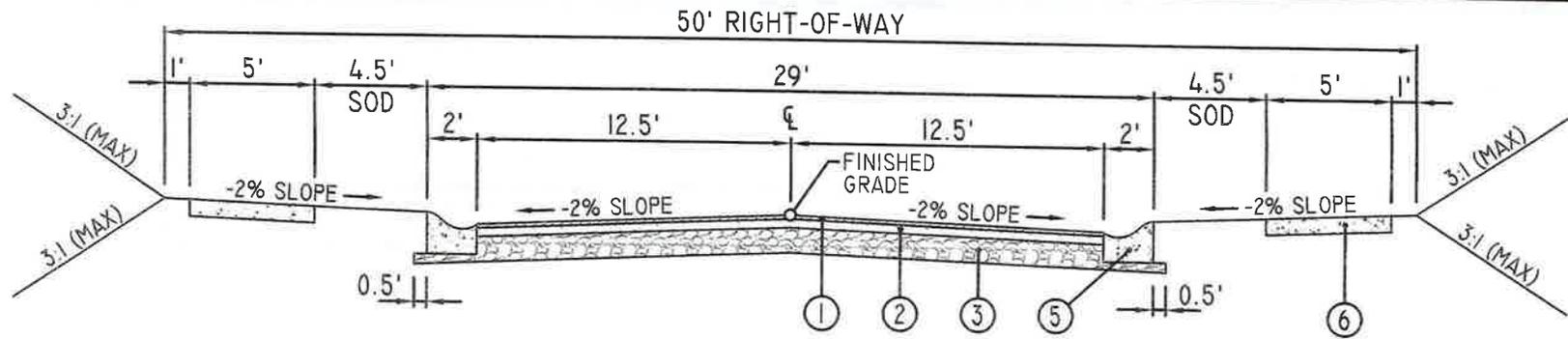
## NON-RESIDENTIAL STREET

N.T.S.

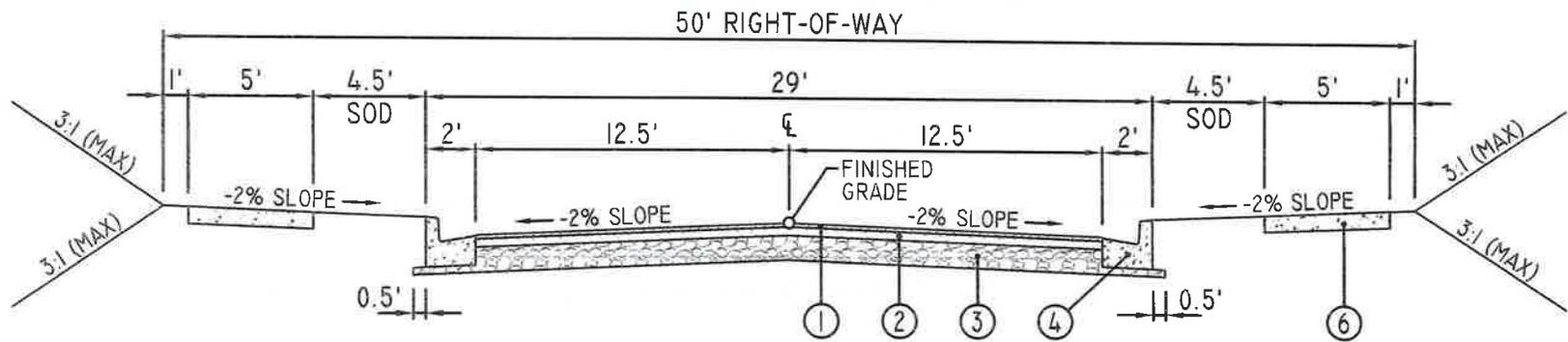
### PAVEMENT SCHEDULE

- |                      |   |
|----------------------|---|
| ① 1½" SURFACE COURSE | ④ CONCRETE CURB & GUTTER (6-30, D=7")<br>TDOT STD. DWG. RP-NMC-10 |
| ② 3" BINDER COURSE   |   |
| ③ 10" AGGREGATE BASE | ⑤ 4" CONCRETE SIDEWALK  |





MIAMI CURB



CURB & GUTTER

## LOCAL STREET

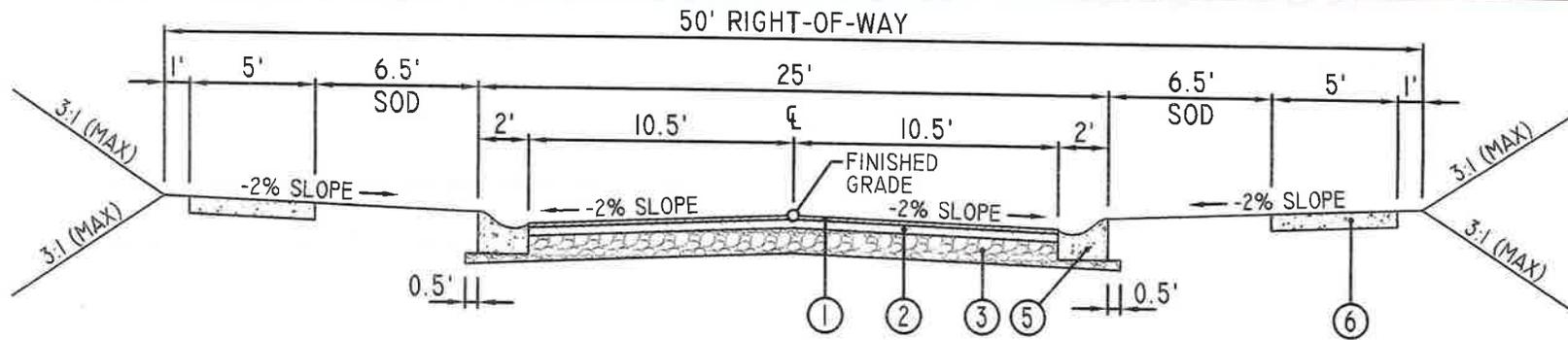
1,501 TO 3,000 TRIPS PER DAY

N.T.S.

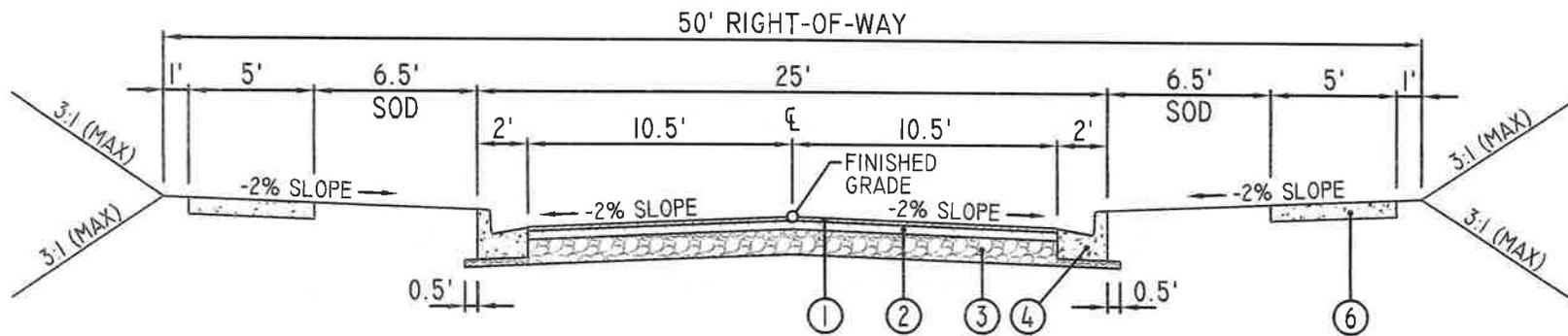
### PAVEMENT SCHEDULE

- |                     |                                 |
|---------------------|---------------------------------|
| ① 1" SURFACE COURSE | ④ CONCRETE CURB & GUTTER (6-24) |
| ② 2" BINDER COURSE  | ⑤ MIAMI CURB                    |
| ③ 6" AGGREGATE BASE | ⑥ 4" CONCRETE SIDEWALK          |





MIAMI CURB



CURB & GUTTER

## RESIDENTIAL STREET

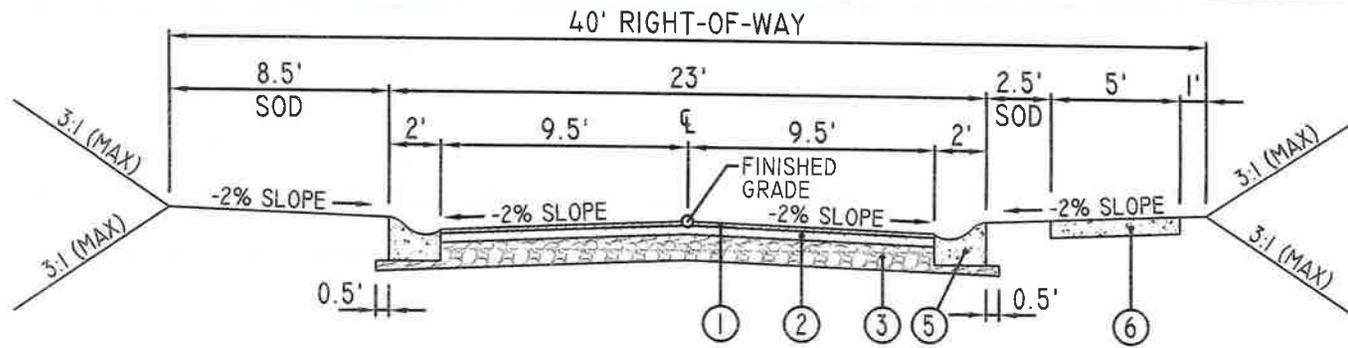
251 TO 1,500 TRIPS PER DAY

N.T.S.

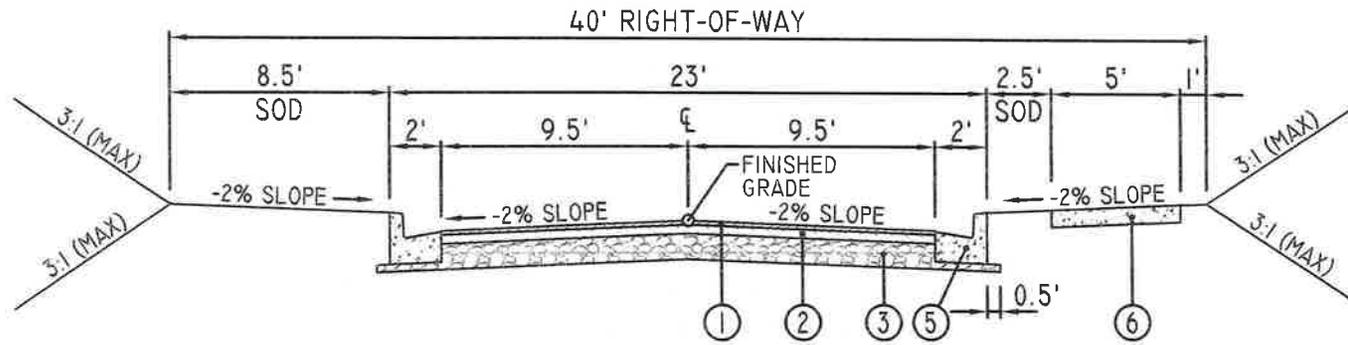
### PAVEMENT SCHEDULE

- |                     |                                 |
|---------------------|---------------------------------|
| ① 1" SURFACE COURSE | ④ CONCRETE CURB & GUTTER (6-24) |
| ② 2" BINDER COURSE  | ⑤ MIAMI CURB                    |
| ③ 6" AGGREGATE BASE | ⑥ 4" CONCRETE SIDEWALK          |





MIAMI CURB



CURB & GUTTER

## LANE

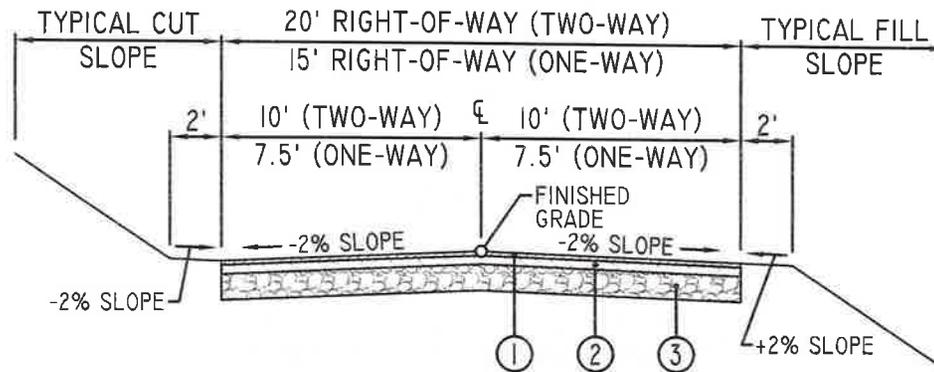
1 TO 250 TRIPS PER DAY

N.T.S.

### PAVEMENT SCHEDULE

- |                     |                                 |
|---------------------|---------------------------------|
| ① 1" SURFACE COURSE | ④ CONCRETE CURB & GUTTER (6-24) |
| ② 2" BINDER COURSE  | ⑤ MIAMI CURB                    |
| ③ 6" AGGREGATE BASE | ⑥ 4" CONCRETE SIDEWALK          |





## ALLEY

N.T.S.

### PAVEMENT SCHEDULE

- ① SURFACE COURSE (1" RESIDENTIAL, 1½" NON-RESIDENTIAL)
- ② BINDER COURSE (2" RESIDENTIAL, 3" NON-RESIDENTIAL)
- ③ AGGREGATE BASE (6" RESIDENTIAL, 10" NON-RESIDENTIAL)



**APPENDIX C**  
**MAJOR STREET & ROAD PLAN**

Bulding Permits - City of Kingsport, Tennessee

Jan-12

Total \$ 23,718,577

Type	Issue Date	Property Address	Owner	Contractor	Additional Description	Valuation	Square Footage	Total Living SQFT	\$/sf	Plans Review Req'd	Plans Review Fee	Plans Review Collected
NEW SOCIAL, RECREATIONAL, AMUSEMENT	01-12-12	1840 MEADOWVIEW PKWY	AQUATIC CENTER	DENARK CONSTRUCTION INC		\$ 21,280,000	98200		\$ 217	REQ	\$ 2,128	\$ 2,128
NEW SINGLE-FAMILY DWELLING	01-05-12	219 COX HOLLOW RD	PETERS, JEFFERY J &	JEFF VAUGHN CONSTRUCTION		\$ 274,000	2426	2426	\$ 113	N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-25-12	444 CLINCHFIELD ST STE 302	INTEGRITY CAPITAL	GOINS RASH CAIN, INC		\$ 273,859	0			REQ	\$ 100	\$ 100
NEW SINGLE-FAMILY DWELLING	01-10-12	2432 EDINBURGH CHANNEL RD		EDINBURGH DEVELOPMENT CO LLC		\$ 230,000	3806	3240	\$ 60	N/A	\$ -	\$ -
NEW SINGLE-FAMILY DWELLING	01-10-12	4224 ANCHOR PT	VAUGHN, RICKY ETAL	R & R ELECTRIC		\$ 228,000	2000	2000	\$ 114	N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-23-12	105 W STONE DR	GROSECLOSE THELMA Q ETAL	GOINS RASH CAIN, INC	WELLMONT CANOPY	\$ 227,000	0			REQ	\$ 100	\$ 100
NEW SINGLE-FAMILY DWELLING	01-19-12	2056 FALLING LEAF DR		ORTH CONSTRUCTION CO		\$ 225,000	3922	3170	\$ 57	N/A	\$ -	\$ -
NEW SINGLE-FAMILY DWELLING	01-05-12	3477 BAILEY RANCH RD	KASSEM, SAM R &	KASSEM CUSTOM BUILDERS		\$ 190,000	1950	1950	\$ 97	N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-06-12	145 W CENTER ST	HOT DOG HUT	SUNDOWNER CONSTRUCTION CO		\$ 120,000	0			REQ	\$ 50	\$ 50
NEW SINGLE-FAMILY DWELLING	01-10-12	3920 THORNTON DR	VAUGHN, RICK	R & R ELECTRIC		\$ 110,000	1750	1750	\$ 63	N/A	\$ -	\$ -
NEW OTHER NON-HOUSEKEEPING SHELTERS	01-27-12	1630 LYNN GARDEN DR	B & E COLLISION CENTER &	WHITE CONSTRUCTION CO		\$ 77,893	5000		\$ 16	REQ	\$ 25	\$ 25
ADDITION-RESIDENTIAL	01-27-12	4834 SILVER CT	FRALEY, JEFFREY L &	SOUTHERLAND CONSTRUCTION &		\$ 70,000	630	630	\$ 111	N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-27-12	1880 N EASTMAN RD STE 150	KELLER-WILLIAMS REAL ESTATE	BALL READY MIX		\$ 70,000	0			REQ	\$ 25	\$ 25
ADDITIONS-COMMERCIAL	01-12-12	2642 SULLIVAN GARDENS PKWY	LA FERNEY DON H JR	SMUCKERS BUILDERS	GARAGE	\$ 64,000	4368		\$ 15	REQ	\$ 25	\$ 25
ACCESSORY-GARAGE	01-10-12	3028 CLIFFSIDE RD	ATKINSON, DAVID W &	MCKEE BUILDERS, INC		\$ 30,000	0			N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-23-12	130 REGIONAL PARK	GOINS RASH CAIN			\$ 23,335	0			REQ	\$ 25	\$ 25

Bulding Permits - City of Kingsport, Tennessee

Jan-12

Total \$ 23,718,577

Type	Issue Date	Property Address	Owner	Contractor	Additional Description	Valuation	Square Footage	Total Living SQFT	\$/sf	Plans Review Req'd	Plans Review Fee	Plans Review Collected
ALTERATIONS-RESIDENTIAL	01-18-12	3433 BAILEY RANCH RD	HOWELL, EARL E JR	KASSEM CUSTOM BUILDERS		\$ 15,000	0			N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-26-12	229 E SULLIVAN ST #1	FIVE POINTS PROPERTIES		OWNER IS CONTRACTOR	\$ 15,000	0			REQ	\$ 25	\$ 25
ALTERATIONS-RESIDENTIAL	01-27-12	1316 LINVILLE ST	DICKSON, TODD	BEGLEY BUILDERS, LLC		\$ 15,000	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-25-12	1365 CATAWBA ST	GENTRY, STACY W & BROOKE W	ALL RITE CONSTRUCTION		\$ 14,775	0			N/A	\$ -	\$ -
ALTERATIONS-RESIDENTIAL	01-04-12	1300 GREENFIELD PL	ROBINSON, JOHN	CHAMPION WINDOW CO-TRI CITIES		\$ 14,600	0			N/A	\$ -	\$ -
ACCESSORY-PORCH	01-30-12	221 CORALWOOD DR	UMBERGER, RODNEY & MARGARET	SUNDOWNER CONSTRUCTION CO		\$ 12,500	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-31-12	316 LOUIS ST	BRISTOL, CAROL	ASSOCIATED BUILDERS, INC		\$ 12,250	0			N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-25-12	1880 N EASTMAN RD STE 310	NEW HORIZONS PLASTIC SURGERY	GOINS RASH CAIN, INC		\$ 11,594	0			REQ	\$ 25	\$ 25
ROOF RESIDENTIAL	01-11-12	1037 FIDDLERS WAY	MORRIS, JONATHAN LEE &	F F GLEATON		\$ 10,420	0			N/A	\$ -	\$ -
ROOF COMMERCIAL	01-30-12	110 LEBANON RD	WARD FAMILY LIMITED	DON SMITH CONSTRUCTION CANOPY		\$ 8,918	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-12-12	1917 NOBLE ST	LAWSON, ANTHONY D &	CONSTRUCTION LLC		\$ 7,673	0			N/A	\$ -	\$ -
ROOF COMMERCIAL	01-25-12	2559 E STONE DR		MCMURRAY BOYS ROOFING CANOPY		\$ 7,600	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-05-12	1101 CATAWBA ST	BROOKS, LESA S	CONSTRUCTION LLC		\$ 7,414	0			N/A	\$ -	\$ -
ROOF COMMERCIAL	01-04-12	126 W MAIN ST	PERDUE, BEVERLY G & JOHN G	BARNARD ROOFING CO, INC		\$ 7,262	0			N/A	\$ -	\$ -
ACCESSORY BUILDINGS-CARPORT	01-30-12	1329 MAGNOLIA AV	WIDENER, THOMAS M	ALSTEL ASSOCIATES	BZA 11-701-00018	\$ 6,500	0			N/A	\$ -	\$ -

**Building Permits - City of Kingsport, Tennessee**

Jan-12

**Total \$ 23,718,577**

Type	Issue Date	Property Address	Owner	Contractor	Additional Description	Valuation	Square Footage	Total Living SQFT	\$/sf	Plans Review Req'd	Plans Review Fee	Plans Review Collected
ACCESSORY-PORCH	01-04-12	1088 ROTHERWOOD DR	CLARK, ETTA RYAN & JUAN M		OWNER IS CONTRACTOR	\$ 6,000	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-19-12	1009 LAKE ST	GREEN, ROBERT M &	MCMURRAY BOYS ROOFING		\$ 5,600	0			N/A	\$ -	\$ -
ALTERATIONS-RESIDENTIAL	01-27-12	1825 PINEBROOK DR		ROBINSON CONSTRUCTION	WINDOWS	\$ 5,514	0			N/A	\$ -	\$ -
ACCESSORY BUILDINGS-CARPORT	01-24-12	1216 ERVIN CT	FLEENOR, CHARLES GREGORY &		OWNER IS CONTRACTOR	\$ 5,500	0			N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-13-12	2101 E-25 FORT HENRY DR	ALL STAR NAILS	W K M CONSTRUCTION, INC		\$ 5,000	0			REQ	\$ 25	\$ 25
ROOF RESIDENTIAL	01-05-12	329 HIGH RIDGE RD	EGAN, JERRY LYNN JR &	D P ROOFING		\$ 4,560	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-12-12	3621 CRESTWOOD DR	GILBERT, WILLIE	CANOPY CONSTRUCTION LLC		\$ 3,769	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-05-12	4196 SKYLAND DR	COPAS, JEREMY LEE &	T & T ROOFING LLC		\$ 3,450	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-20-12	1457 GARDEN DR	HOBBS, JERRY A	CANOPY CONSTRUCTION LLC		\$ 2,943	0			N/A	\$ -	\$ -
ALTERATIONS-RESIDENTIAL	01-20-12	1924 NETHERLAND INN RD	LYONS, TAMI H	THD AT-HOME SERVICES, INC		\$ 2,928	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-24-12	533 FORESTDALE RD	THORNTON, CASEY M	D P ROOFING		\$ 2,820	0			N/A	\$ -	\$ -
ROOF RESIDENTIAL	01-09-12	3229 CLOVER ST	FREE, NANCY L	PALMETTO CONSTRUCTION		\$ 2,800	0			N/A	\$ -	\$ -
ROOF COMMERCIAL	01-10-12	119 E MARKET ST	LAW, KAN FAN & TSUEI YUN	CLARK BUILDING AND REMODELING		\$ 2,500	0			N/A	\$ -	\$ -
ALTERATIONS-COMMERCIAL (MALLS, ETC)	01-13-12	3921 MEMORIAL BLVD	BISHOP, CHARLES		OWNER IS CONTRACTOR	\$ 2,000	0			REQ	\$ 25	\$ 25
ACCESSORY-DECK	01-06-12	1306 CHESTNUT ST	FIELDS, GLORIA		OWNER IS CONTRACTOR	\$ 1,800	0			N/A	\$ -	\$ -
ACCESSORY BUILDINGS-CARPORT	01-19-12	816 OAKDALE RD	PAYNE, CONNEY R JR &			\$ 700	0			N/A	\$ -	\$ -

Bulding Permits - City of Kingsport, Tennessee

Jan-12

Total \$ 23,718,577

Type	Issue Date	Property Address	Owner	Contractor	Additional Description	Valuation	Square Footage	Total Living SQFT	\$/sf	Plans Review Req'd	Plans Review Fee	Plans Review Collected
ACCESSORY BUILDINGS-CARPORT	01-20-12	1669 REDWOOD DR	VAUGHN, AUDLEY H & DELORES LE, LONG HOANG &			\$ 700	0			N/A	\$ -	\$ -
ACCESSORY UTILITY BLDG	01-19-12	2104 HEMLOCK LN			OWNER IS CONTRACTOR	\$ 400	0			N/A	\$ -	\$ -
						<b>\$ 23,718,577</b>					<b>\$ 2,578</b>	<b>\$ 2,578</b>

## New Businesses - City of Kingsport, Tennessee

Jan-12

Business Name	Address	Owners Name	Mail Address 1	Mail Address 2	City	State	Zip	Area Code	Phone Number	Open Date
POSH SPA & SALON	114 E MARKET ST	THOMAS, JESSICA	114 E MARKET ST		KINGSPORT	TN	37660	423	2462877	120101
THE POKEY TURTLE	4540 CHICKASAW RD	HAUK, CAROLYN	% CAROLYN T HAUK	4540 CHICKASAW RD	KINGSPORT	TN	37664	828	2150431	120101
ADVANTAGE WIRELESS COMMUNICATI	3569 WESLEY RD	SUMMERS, JAMES	3569 WESLEY RD		KINGSPORT	TN	37664	423	8632242	120102
EDWARDS SIDING	CONTR OUT OF TOWN ADDRESS	EDWARDS, RANDY	700 NATHANIAL COURT # 69		ERWIN	TN	37650	423	3888835	120102
REEDY CREEK CELLARS INC	1901 MEADOWVIEW PKWY		400 BANCROFT CHAPEL RD		KINGSPORT	TN	37660	202	3093431	120102
MURPHY'S ENTERPRIZE	630 WALNUT AV	MURPH, MARK	630 WALNUT AV		KINGSPORT	TN	37660	423	7651901	120103
SEALS WINDOWS	BTA OUT OF TOWN ADDRESS	SEALS, JOHN	286 PRICE RD		SURGOINSVILLE	TN	37873	423	9214076	120103
KENCO METAL SERVICES	1700 FORT HENRY DR	KENNEDY, ERIC N	1700 FORT HENRY DR		KINGSPORT	TN	37664	423	8630915	120104
SARAH'S KANDY KITCHEN	519 JERSEY ST	MORRIS, SARAH	519 JERSEY ST		KINGSPORT	TN	37660	423	2760327	120104
U PICK IT THRIFT STORE	300 W SULLIVAN ST	QUESENBERRY, ALISA	300 W SULLIVAN ST		KINGSPORT	TN	37660	423	3270762	120104
CALDWELL ROOFING & REMODELING	2321 AMY AV	CALDWELL, NICHOLAS	2321 AMY AV		KINGSPORT	TN	37664	423	2925938	120106
ENCOURAGYM OF KINGSPORT	2718 N JOHN B DENNIS HWY STE C	HANN JR, RICHARD	2718 N JOHN B DENNIS HWY STE C		KINGSPORT	TN	37660	423	5713398	120106
WK & S LLC	CONTR OUT OF TOWN ADDRESS		531 HIWAY 93		KINGSPORT	TN	37660	423	5715543	120106
SLEMP MOTORS	2417 E STONE DR	SLEMP, JAMES E	2417 E STONE DR		KINGSPORT	TN	37660	423	2450224	120110
ALL SEASONS RENOVATIONS	3816 SUMMIT DR	HUNLEY, STEVE	3816 SUMMIT DR		KINGSPORT	TN	37664	423	6779906	120111
F F GLEATON	BTA OUT OF TOWN ADDRESS	GLEATON, ERIC	701 BLUFF CITY HWY		BRISTOL	TN	37620	423	2177002	120111
SMUCKERS BUILDERS	CONTR OUT OF TOWN ADDRESS	SMUCKER, MARVIN	3755 CHUCKEY PIKE		CHUCKEY	TN	37641	423	3064930	120111
CSHAVER	4924 D FORT HENRY DR	SHAVER, CASSIE	4924 D FORT HENRY DR		KINGSPORT	TN	37663	423	6120321	120117
ESTATE OF DENNIS MCCARROLL	1605 N EASTMAN RD	MCCARROLL, NORMA	DBA DENNY'S QUICK PRINT	1605 N EASTMAN	KINGSPORT	TN	37664	423	2462882	120120
APPLE TREE PLAY HOUSE	252 WESTFIELD DR	RHOTEN, TINA	252 WESTFIELD DR		KINGSPORT	TN	37664	423	3494616	120123
DUNN-RITE ROOFING	BTA OUT OF TOWN ADDRESS	DUNN, DARRELL J	120 OAK ST		MOUNT CARMEL	TN	37645	423	3602565	120123

## New Businesses - City of Kingsport, Tennessee

Jan-12

Business Name	Address	Owners Name	Mail Address 1	Mail Address 2	City	State	Zip	Area Code	Phone Number	Open Date
FAIRWAY VOLKSWAGEN INC	2301 E STONE DR		PO BOX 1099		KINGSPORT	TN	37662	423	3781800	120123
ROBINSON HEAT & AIR	CONTR OUT OF TOWN ADDRESS		102 TAGOR DRIVE		JOHNSON CITY	TN	37604	423	9293045	120123
THR & ASSOCIATES INC	1217 STEWBALL CIR DC		DBA/AMERICAN COIN BUYERS GUILD	3200 PLEASANT RUN	SPRINGFIELD	IL	62711	217	7267590	120124
COPPER TREE WALLEN'S	1005 MORRELL CT	CABLE, RUSSELL RAY	% RUSSELL RAY CABLE	1005 MORRELL CT	KINGSPORT	TN	37664	423	3677167	120127
WOODWORKS	3905 ROCKY HILL LN	WALLEN II, DUFFER H	% DUFFER H WALLEN II	PO BOX 7196	KINGSPORT	TN	37664	423	5792437	120127
DENT MAGIC	1526 E STONE DR	RODEFER, NEAL	1526 E STONE DR		KINGSPORT	TN	37660	423	3985501	120130
LAUNA KATE'S	1608 GIBSON MILL RD	BOGGS, VANESSA	1608 GIBSON MILL RD		KINGSPORT	TN	37660	423	2920320	120130
LAWN CARE SOLUTIONS	1608 GIBSON MILL RD	ADAM, JUSTIN	1608 GIBSON MILL RD		KINGSPORT	TN	37660	423	2763038	120131



## CITY OF KINGSPORT, TENNESSEE

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January 18, 2012

Mr. Dennis Ward, Chairman  
Kingsport Regional Planning Commission  
225 W. Center Street  
Kingsport, TN 37660

Dear Mr. Ward:

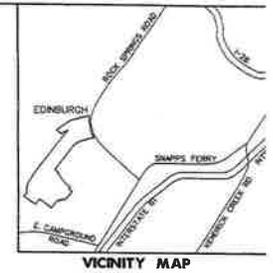
This letter is to inform you that I, as Secretary for the Kingsport Regional Planning Commission, certify that the resubdivision of Lots 39 and 43 of Edinburgh Subdivision on Edinburgh Channel Road, surveyed by Nelson Elam, RLS, meets the Minimum Standards for Subdivision Development of Minor Subdivision Within the Kingsport Planning Region. The staff certifies the plat is acceptable to be signed by the Secretary of the Planning Commission for recording purposes.

Sincerely,

Lynn Tully  
Planning Manager

C: Kingsport Regional Planning Commission





01/18/2012 - 07:57:39 AM  
**12000963**  
 1 POS. AL. PLAT BATCH: 11486  
 PLAT BOOK: P63  
 PAGE: 622-622

REC FEE	16.00
DP FEE	3.00
ARC FEE	0.00
TOTAL	19.00

STATE OF TENNESSEE, SULLY/DAW COUNTY  
**BART LONG**  
 REGISTERED SURVEYOR

- NOTES:
- BEARINGS ARE BASED ON THE KINGSFORD GEODETIC REFERENCE NETWORK.
  - DEED REFERENCE:  
 TAX MAP 119 PARCEL 11, 15th CIVIL DISTRICT  
 DEED BOOK 2378C PAGE 425  
 PLAT BOOK 53 PAGE 339 & PLAT BOOK 53 PAGE 512
  - PROPERTY ZONED:  
 PD - PLANNED DEVELOPMENT
  - FLOOD MAP: 47NCS02300, EFFECTIVE DATE SEPT, 2006  
 THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA
  - UTILITY PROVIDERS:  
 WATER: CITY OF KINGSFORD  
 SANITARY SEWER: CITY OF KINGSFORD  
 TELEPHONE: CENTURYLINK  
 ELECTRIC: AMERICAN ELECTRIC POWER, KINGSFORD POWER COMP  
 CABLE: CHARTER COMMUNICATIONS
  - [2432] - 91 ADDRESS
  - UTILITY EASEMENTS:  
 - 15 FOOT UTILITY EASEMENT ALONG FRONT LOT LINES,  
 - 15 FOOT DRAINAGE EASEMENT AS SHOWN.
  - IRON RODS NEW SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.

**If water meters and/or sewer service is no longer within the new property lines it will be the Developers responsibility for fees associated with relocation.**



**GOVERNMENT AND UTILITY ACCESS**  
 THE OWNERS OF THIS PROPERTY HEREBY AGREE TO GRANT FULL RIGHTS OF ACCESS TO THIS PROPERTY OVER THE DESIGNATED STABLES, UTILITIES AND OTHER EASEMENTS FOR GOVERNMENTAL AND UTILITY AGENCIES TO PERFORM THEIR NORMAL RESPONSIBILITIES.

**MAINTENANCE OF COMMON OPEN SPACE**  
 THE OWNERS OF THIS PROPERTY HEREBY AGREE TO ASSUME FULL LIABILITY AND RESPONSIBILITY FOR THE IMPROVEMENT, MAINTENANCE AND OPERATION OF ALL COMMON OPEN SPACE.

1-9 DATE 2012  
 OWNERS

**CERTIFICATION OF THE APPROVAL FOR SH-ADDRESSING ASSIGNMENT**  
 I HEREBY CERTIFY THAT THE ADDRESSES, AS NOTED ON THE FINAL PLAT, ARE APPROVED AS ASSIGNED.

1-9 DATE 2012  
 BRYANNE CAMPBELL  
 SULLY/DAW COUNTY DIRECTOR OF SH-ADDRESSING

**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 I HEREBY CERTIFY THAT I AM THE OWNER (S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THE PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, I (WE) HEREBY BUILDING LOTS AND EASEMENTS ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

1-9 DATE 2012  
 JAW GIN  
 SURVEYOR

**CERTIFICATE OF ACCURACY**  
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE KINGSFORD, TENNESSEE REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON.

DATE 2012  
 SURVEYOR  
 JAW GIN  
 #1442  
 SURVEYOR

**CERTIFICATION OF THE APPROVAL OF STREETS**  
 I HEREBY CERTIFY THAT STREETS HAVE BEEN INSTALLED TO AN ACCEPTABLE STANDARD AND ACCORDING TO THE SPECIFICATIONS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION OR CITY ENGINEER'S BOARD OF THE JURISDICTION UPON AN EXISTING PUBLIC ROAD SHALL SERVE THESE LOTS.

DATE 2012  
 CITY ENGINEER OR COUNTY ROAD COMMISSIONER

**CERTIFICATE OF APPROVAL OF PUBLIC WATER SYSTEM**  
 I HEREBY CERTIFY THAT THE PUBLIC WATER UTILITY SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE KINGSFORD REGIONAL PLANNING COMMISSION AND IS HEREBY APPROVED AS SHOWN.

DATE 1-12-2012  
 AUTHORIZING AGENT  
 JAW GIN

**CERTIFICATION OF THE APPROVAL OF SEWERAGE SYSTEM**  
 I HEREBY CERTIFY THAT THE SEWERAGE DISPOSAL SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION AND IS HEREBY APPROVED AS SHOWN.

DATE 1-12-2012  
 TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION  
 DR. JAW GIN  
 KINGSFORD AUTHORIZING AGENT

**BWSC** BARGE WAGGONER SUMNER & CANNON, INC.  
 FOUR SHERIDAN SQUARE, SUITE 100 KINGSFORD, TENNESSEE 37660  
 PHONE 423-247-5525 FAX 423-247-8210  
 WWW.BWSC-KINGSDOM.COM

DEVELOPER  
 THE EDINBURGH GROUP, LLC  
 1562 CRESCENT DRIVE  
 KINGSFORD, TN 37664

RE-PLAT - EDINBURGH - PHASE 2a  
 LOT 39 & LOT 43  
 KINGSFORD REGIONAL PLANNING COMMISSION

TOTAL ACRES	0.488	TOTAL LOTS	2
ACRES NEW ROAD/ALLEYS	0	MILES NEW ROAD	0
OWNER	The Edinburgh Group, LLC	CIVIL DISTRICT	15th
SURVEYOR	NELSON ELAM	CLOSURE ERROR	1/10,000

SCALE: 1" = 50'



## CITY OF KINGSPORT, TENNESSEE

---

January 26, 2012

Mr. Dennis Ward, Chairman  
Kingsport Regional Planning Commission  
225 W. Center Street  
Kingsport, TN 37660

Dear Mr. Ward:

This letter is to inform you that I, as Secretary for the Kingsport Regional Planning Commission, certify that the resubdivision of Lots 1 and 2 of Kingsport Chamber Foundation Subdivision on East Main Street, surveyed by Nelson Elam, RLS, meets the Minimum Standards for Subdivision Development of Minor Subdivision Within the Kingsport Planning Region. The staff certifies the plat is acceptable to be signed by the Secretary of the Planning Commission for recording purposes.

Sincerely,

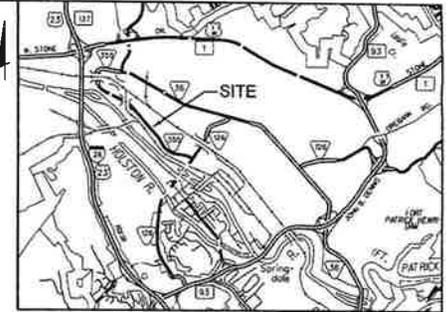
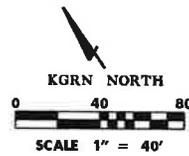
Lynn Tully  
Planning Manager

C: Kingsport Regional Planning Commission

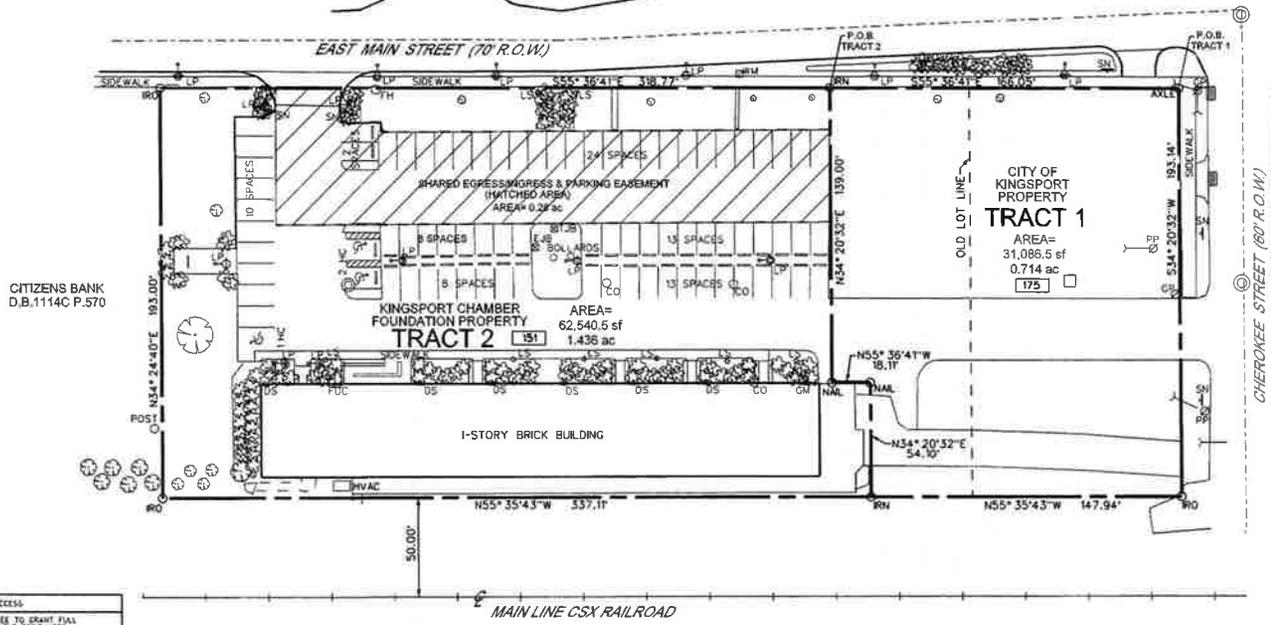


**LEGEND:**

- IRNO IRON ROD NEW
- IROO IRON ROD OLD
- PROPERTY LINE
- ▭ CATCH BASIN
- COO CLEANOUT
- FH○ FIRE HYDRANT
- TREE
- EXISTING SANITARY SEWER MANHOLE
- BUILDING OVERHANG
- LIGHT POLE
- DS= DOWN SPOUT
- LS □ LANDSCAPE LIGHTING



**VICINITY MAP**



- NOTES:**
1. BEARINGS ARE BASED ON THE KINGSPORT GEODETIC REFERENCE NETWORK.
  2. DEED REFERENCE: TAX MAP 46P GROUP F PARCEL 2.0, 11th CIVIL DISTRICT DEED BOOK 594C PAGE 22B
  3. PROPERTY ZONED: B2 - SETBACKS TO CONFORM TO ZONING DESIGNATION
  4. FLOOD MAP: 47163C00450, EFFECTIVE DATE SEPT, 2006. THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA.
  5. PARKING - 78 REGULAR SPACES & 3 HANDICAP SPACES (SHARED PARKING- 26 REGULAR SPACES)
  6. 151 - 911 ADDRESS
  7. IRON RODS NEW OR NALS SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.

**GOVERNMENT AND UTILITY ACCESS**

THE OWNERS OF THIS PROPERTY HEREBY AGREE TO GRANT FULL RIGHTS OF ACCESS TO THE PROPERTY OVER THE DESIGNATED STREET UTILITIES AND OTHER EASEMENTS FOR GOVERNMENTAL AND UTILITY AGENCIES TO PERFORM THEIR NORMAL RESPONSIBILITIES.

**MAINTENANCE OF COMMON OPEN SPACE**

THE OWNERS OF THIS PROPERTY HEREBY AGREE TO ASSUME FULL LIABILITY AND RESPONSIBILITY FOR THE IMPROVEMENT, MAINTENANCE AND OPERATION OF ALL COMMON OPEN SPACE.

DATE: 20\_\_\_\_

DWIGNS

**CERTIFICATION OF THE APPROVAL FOR 911 ADDRESSING ASSIGNMENT**

I HEREBY CERTIFY THAT THE ADDRESSES, AS NOTED ON THE FINAL PLAT, ARE APPROVED AS ASSIGNED.

DATE: 20\_\_\_\_

**CERTIFICATE OF ACKNOWLEDGMENT**

CITY CLERK, DIVISION OF SULLIVAN COUNTY DIRECTOR OF 911 ADDRESSING OR HIS/HER AUTHORIZED REPRESENTATIVE

DATE: 20\_\_\_\_

**CERTIFICATE OF OWNERSHIP AND DECLARATION**

I HEREBY CERTIFY THAT I AM THE OWNER (S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I/WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY/OUR/FREE CONSENT, ESTABLISH THE BUILDING LINES AND LOCATE ALL STREETS, ALLEYS, WALKWAYS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: 20\_\_\_\_

OWNER

**CERTIFICATE OF ACKNOWLEDGMENT**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE KINGSPORT, TENNESSEE REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON.

DATE: 20\_\_\_\_

SURVEYOR (OR)

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATE OF PROVISION OF THE UNADJUSTED SURVEY IS 6:100,000 AS SHOWN HEREON.

DATE: 20\_\_\_\_

SURVEYOR TN REG. NO.

**CERTIFICATE OF APPROVAL OF PUBLIC WATER SYSTEM**

I HEREBY CERTIFY THAT THE PUBLIC WATER UTILITY SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE WATER UTILITY SYSTEM AND IS HEREBY APPROVED AS SHOWN.

DATE: 20\_\_\_\_

AUTHORIZING AGENT

**BWSC** | BARGE WAGGONER SUMNER & CANNON, INC

FOUR SHERIDAN SQUARE, SUITE 100, KINGSPORT, TENNESSEE 37860  
 PHONE: 423-247-0525 FAX: 423-247-0233  
 www.bargewaggoner.com

ENGINEERS ARCHITECTS PLANNERS LANDSCAPE ARCHITECTS SURVEYORS

**CERTIFICATION OF THE APPROVAL OF STREETS**

I HEREBY CERTIFY THAT THE STREETS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE ARCHITECT. ROUTE OF TRAVEL DESIGNATION UPON AN EXISTING PUBLIC ROAD SHALL SERVE THESE LOTS AS PROPOSED.

DATE: 20\_\_\_\_

CITY ENGINEER OR COUNTY ROAD COMMISSIONER

**CERTIFICATION OF THE APPROVAL OF SEWERAGE SYSTEM**

I HEREBY CERTIFY THAT THE SEWERAGE DISPOSAL SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION AND IS HEREBY APPROVED AS SHOWN.

DATE: 20\_\_\_\_

TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION OR

KINGSPORT AUTHORIZING AGENT

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR KINGSPORT, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE \_\_\_\_\_ REGISTERS. IF REQUIRED, A SURETY BOND IN THE AMOUNT OF \$ \_\_\_\_\_ HAS BEEN POSTED WITH THE KINGSPORT REGIONAL PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: 20\_\_\_\_

SECRETARY

KINGSPORT MUNICIPAL/REGIONAL PLANNING COMMISSION

**FINAL PLAT - TRACT 1 & 2**  
**KINGSPORT CHAMBER FOUNDATION**

**KINGSPORT REGIONAL PLANNING COMMISSION**

TOTAL ACRES 2.15 TOTAL LOTS 2  
 ACRES NEW ROAD/ALLEYS 0 MILES NEW ROAD 0

OWNER KINGSPORT CHAMBER FOUNDATION CIVIL DISTRICT 11th  
 SURVEYOR NELSON ELAM CLOSURE ERROR 1/10,000

SCALE: 1" = 40'



## CITY OF KINGSPORT, TENNESSEE

---

January 26, 2012

Mr. Dennis Ward, Chairman  
Kingsport Regional Planning Commission  
225 W. Center Street  
Kingsport, TN 37660

Dear Mr. Ward:

This letter is to inform you that I, as Secretary for the Kingsport Regional Planning Commission, certify that the resubdivision of Lots 2 and 2A of Kingsport Chamber Foundation Subdivision on East Main Street, surveyed by Nelson Elam, RLS, meets the Minimum Standards for Subdivision Development of Minor Subdivision Within the Kingsport Planning Region. The staff certifies the plat is acceptable to be signed by the Secretary of the Planning Commission for recording purposes.

Sincerely,

Lynn Tully  
Planning Manager

C: Kingsport Regional Planning Commission

Tri-Cities  
TN/VA



1999

City Hall 225 West Center Street Kingsport, TN 37660-4237 (423) 229-9400  
Kingsport — *The Best Place To Be*

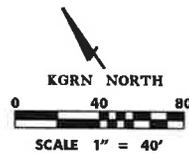
Tri-Cities  
TN/VA



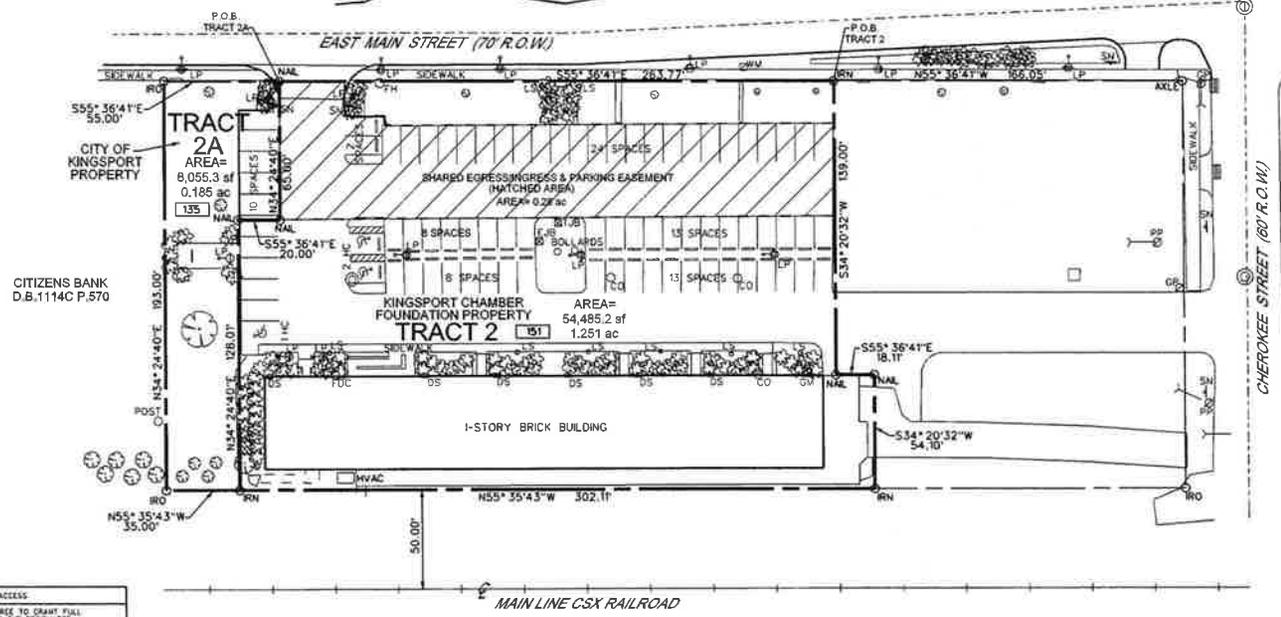
1999

**LEGEND:**

- IRN O IRON ROD NEW
- IRO O IRON ROD OLD
- PROPERTY LINE
- ☒ CATCH BASIN
- COO CLEANOUT
- PHO FIRE HYDRANT
- ⊕ TREE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- BUILDING OVERHANG
- ⊕ LIGHT POLE
- DS □ DOWN SPOUT
- LS ● LANDSCAPE LIGHTING



**VICINITY MAP**



- NOTES:
1. BEARINGS ARE BASED ON THE KINGSPORT GEODETIC REFERENCE NETWORK.
  2. DEED REFERENCE: TAX MAP 46P GROUP F PARCEL 2.0, 11th CIVIL DISTRICT DEED BOOK 594C PAGE 228
  3. PROPERTY ZONED: B2 - SETBACKS TO CONFORM TO ZONING DESIGNATION
  4. FLOOD MAP: 47B3C0045D, EFFECTIVE DATE SEPT. 2006. THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA.
  5. PARKING - 78 REGULAR SPACES & 3 HANDICAP SPACES (SHARED PARKING- 26 REGULAR SPACES)
  6. 151 - 911 ADDRESS
  7. IRON RODS NEW OR NAILS SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.

**GOVERNMENT AND UTILITY ACCESS**

THE OWNERS OF THIS PROPERTY HEREBY AGREE TO GRANT FULL RIGHTS OF ACCESS TO THE PROPERTY OVER THE DESIGNATED STREET UTILITIES AND OTHER EASEMENTS FOR GOVERNMENTAL AND UTILITY AGENCIES TO PERFORM THEIR NORMAL RESPONSIBILITIES.

**MAINTENANCE OF COMMON OPEN SPACE**

THE OWNERS OF THIS PROPERTY HEREBY AGREE TO ASSUME FULL LIABILITY AND RESPONSIBILITY FOR THE IMPROVEMENT, MAINTENANCE AND OPERATION OF ALL COMMON OPEN SPACE.

DATE: \_\_\_\_\_ 20\_\_

OWNERS: \_\_\_\_\_

**CERTIFICATION OF THE APPROVAL FOR RE-ADDRESSING ASSIGNMENT**

HEREBY CERTIFY THAT THE ADDRESSES, AS NOTED ON THE FINAL PLAN, ARE APPROVED AS ASSIGNED.

DATE: \_\_\_\_\_ 20\_\_

OWNERS: \_\_\_\_\_

**CERTIFICATE OF ACCURACY**

HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE KINGSPORT, TENNESSEE REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON.

DATE: \_\_\_\_\_ 20\_\_

SURVEYOR: \_\_\_\_\_ (OR)

HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE DATE OF PRECISION OF THE UNADJUSTED SURVEY IS 60.0000 AS SHOWN HEREON.

DATE: \_\_\_\_\_ 20\_\_

SURVEYOR: \_\_\_\_\_ TR. REG. NO. \_\_\_\_\_

OWNER: \_\_\_\_\_

**MAINTENANCE OF COMMON OPEN SPACE**

THE OWNERS OF THIS PROPERTY HEREBY AGREE TO GRANT FULL RIGHTS OF ACCESS TO THE PROPERTY OVER THE DESIGNATED STREET UTILITIES AND OTHER EASEMENTS FOR GOVERNMENTAL AND UTILITY AGENCIES TO PERFORM THEIR NORMAL RESPONSIBILITIES.

**MAINTENANCE OF COMMON OPEN SPACE**

THE OWNERS OF THIS PROPERTY HEREBY AGREE TO ASSUME FULL LIABILITY AND RESPONSIBILITY FOR THE IMPROVEMENT, MAINTENANCE AND OPERATION OF ALL COMMON OPEN SPACE.

DATE: \_\_\_\_\_ 20\_\_

OWNERS: \_\_\_\_\_

**CERTIFICATION OF THE APPROVAL FOR RE-ADDRESSING ASSIGNMENT**

HEREBY CERTIFY THAT THE ADDRESSES, AS NOTED ON THE FINAL PLAN, ARE APPROVED AS ASSIGNED.

DATE: \_\_\_\_\_ 20\_\_

OWNERS: \_\_\_\_\_

**CERTIFICATE OF ACCURACY**

HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE KINGSPORT, TENNESSEE REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON.

DATE: \_\_\_\_\_ 20\_\_

SURVEYOR: \_\_\_\_\_ (OR)

HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE DATE OF PRECISION OF THE UNADJUSTED SURVEY IS 60.0000 AS SHOWN HEREON.

DATE: \_\_\_\_\_ 20\_\_

SURVEYOR: \_\_\_\_\_ TR. REG. NO. \_\_\_\_\_

OWNER: \_\_\_\_\_

**CERTIFICATION OF THE APPROVAL OF STREETS**

HEREBY CERTIFY THAT STREETS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OR 1/2" AGGREGATE RIGHTS-OF-WAY DESIGNATION UPON AN EXISTING PUBLIC ROAD SHALL SERVE THESE LOTS AS PROPOSED.

DATE: \_\_\_\_\_ 20\_\_

CITY ENGINEER OR COUNTY ROAD COMMISSIONER: \_\_\_\_\_

**CERTIFICATE OF APPROVAL OF PUBLIC WATER SYSTEM**

HEREBY CERTIFY THAT THE PUBLIC WATER UTILITY SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE \_\_\_\_\_ WATER UTILITY SYSTEM AND IS HEREBY APPROVED AS SHOWN.

DATE: \_\_\_\_\_ 20\_\_

AUTHORIZING AGENT: \_\_\_\_\_

**CERTIFICATION OF THE APPROVAL OF SEWERAGE SYSTEM**

HEREBY CERTIFY THAT THE SEWERAGE DISPOSAL SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION AND IS HEREBY APPROVED AS SHOWN.

DATE: \_\_\_\_\_ 20\_\_

TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION OR KINGSPORT AUTHORIZING AGENT: \_\_\_\_\_

**BWSC** | BARBE WAGGONER SUMNER & GANNON, INC

FOUR SHERIDAN SQUARE, SUITE 100, KINGSPORT, TENNESSEE 37600  
PHONE: 423-947-8528 FAX: 423-247-8255  
www.barbewaggoner.com

ENGINEERS ARCHITECTS PLANNERS LANDSCAPE ARCHITECTS SURVEYORS

**CERTIFICATE OF APPROVAL FOR RECORDING**

HEREBY CERTIFY THAT THE SUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR KINGSPORT, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE \_\_\_\_\_ REGISTER. IF REQUIRED, A SURETY BOND IN THE AMOUNT OF \_\_\_\_\_ HAS BEEN POSTED WITH THE KINGSPORT REGIONAL PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: \_\_\_\_\_ 20\_\_

SECRETARY: \_\_\_\_\_

KINGSPORT MUNICIPAL/REGIONAL PLANNING COMMISSION

RE-PLAT - TRACT 2 KINGSPORT CHAMBER FOUNDATION	
<b>KINGSPORT REGIONAL PLANNING COMMISSION</b>	
TOTAL ACRES <u>1.436</u>	TOTAL LOTS <u>2</u>
ACRES NEW ROAD/ALLEYS <u>0</u>	MILES NEW ROAD <u>0</u>
OWNER <u>KINGSPORT CHAMBER FOUNDATION</u>	CIVIL DISTRICT <u>8th</u>
SURVEYOR <u>NELSON ELAM</u>	CLOSURE ERROR <u>140.000</u>
SCALE: 1" = <u>40'</u>	



## CITY OF KINGSPORT, TENNESSEE

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February 1, 2012

Mr. Dennis Ward, Chairman  
Kingsport Regional Planning Commission  
225 W. Center Street  
Kingsport, TN 37660

Dear Mr. Ward:

This letter is to inform you that I, as Secretary for the Kingsport Regional Planning Commission, certify that the resubdivision of Lots 1 and 2 of Quail Creek Subdivision on Morning Dove Drive and Countryside Drive respectively, surveyed by Dan Saxon RLS, meets the Minimum Standards for Subdivision Development of Minor Subdivision Within the Kingsport Planning Region. The staff certifies the plat is acceptable to be signed by the Secretary of the Planning Commission for recording purposes.

Sincerely,

Lynn Tully  
Planning Manager

C: Kingsport Regional Planning Commission







## CITY OF KINGSPORT, TENNESSEE

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February 1, 2012

Mr. Dennis Ward, Chairman  
Kingsport Regional Planning Commission  
225 W. Center Street  
Kingsport, TN 37660

Dear Mr. Ward:

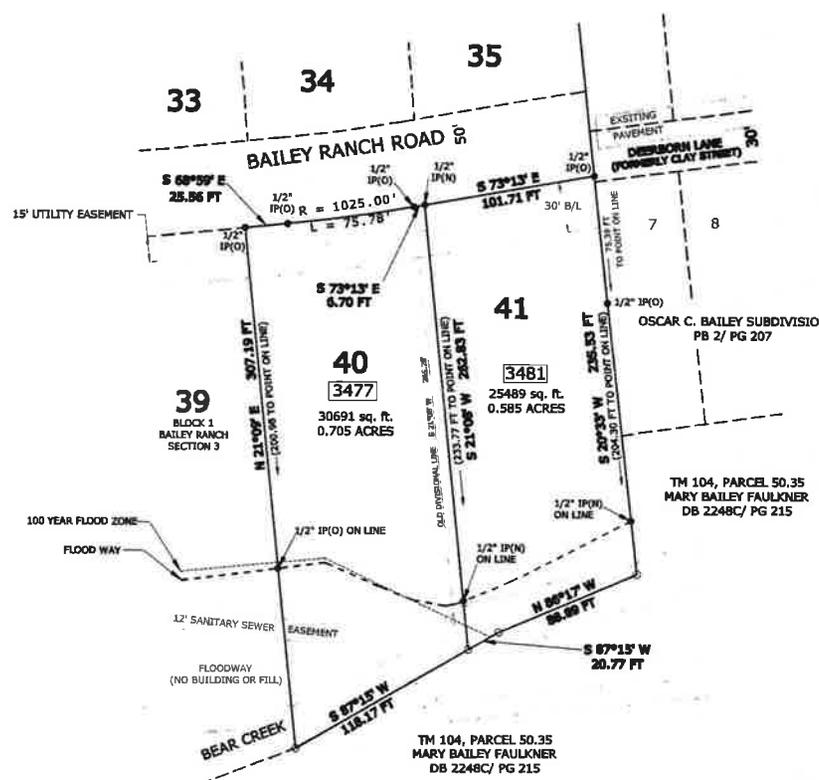
This letter is to inform you that I, as Secretary for the Kingsport Regional Planning Commission, certify that the resubdivision of Lots 40 and 41 of Bailey Ranch Subdivision on Bailey Ranch Road, surveyed by Danny Carr RLS, meets the Minimum Standards for Subdivision Development of Minor Subdivision Within the Kingsport Planning Region. The staff certifies the plat is acceptable to be signed by the Secretary of the Planning Commission for recording purposes.

Sincerely,

Lynn Tully  
Planning Manager

C: Kingsport Regional Planning Commission





**RECORDING DATA**  
 BAILEY RANCH, SECTION 3  
 RECORDED IN PG 53/ PG 646  
 PROPERTY IS LOCATED ON SULLIVAN COUNTY  
 TAX MAP: 80F, GROUP 7  
 PARCEL 12.00 (LOT 40)  
 PARCEL 13.00 (LOT 41)  
 OWNER(S): SAM R. KASSEN & MICHAEL A. KASSEN

**ABBREVIATIONS AND SYMBOLS**  
 DB- DEED BOOK  
 O- CALCULATED POINT  
 IP- IRON PIN  
 (O)- OLD  
 (N)- NEW  
 PG- PAGE  
 TM- SULLIVAN COUNTY TAX MAP  
 S/B- BUILDING SETBACK LINE

**FLOOD CERTIFICATION**  
 THIS IS TO CERTIFY THAT I HAVE CONSULTED THE FEDERAL ADMINISTRATION FLOOD HAZARD MAPS AND FOUND THAT THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA.  
 BEAR CREEK IS AN UNSTUDIED TRIBUTARY AS SHOWN ON: FLOOD INSURANCE RATE MAP # 47163C02300 SULLIVAN COUNTY, TENNESSEE AND INCORPORATED AREAS EFFECTIVE DATE SEPTEMBER 29, 2006  
 FLOOD ZONE A (BASE ELEVATIONS NOT DETERMINED)

FLOOD WAY AND 100 YEAR FLOOD DESIGNATIONS SHOWN ON PLAN AS PER FLOOD STUDY PERFORMED BY SPODEN AND WILSON-CONSULTING ENGINEERS, AND PRESENTED TO THE CITY OF KINGSPORT BUILDING OFFICIAL.

FINISHED FLOOR OF ALL CONSTRUCTION MUST BE 1 FOOT ABOVE 100 YEAR FLOOD ELEVATION.

**ZONING**  
 SETBACKS TO CONFORM WITH ALL CURRENT APPLICABLE ZONING RESTRICTIONS.  
 PROPERTY IS CURRENTLY ZONED CITY OF KINGSPORT R1-B SETBACKS: 30' FRONT/0' SIDE/0' REAR.

**EASEMENTS**  
 THERE IS A 18" DRAINAGE/ UTILITY EASEMENT LOCATED ALONG ALL SETBACK LOT LINES.  
 SANITARY SEWER EASEMENTS AS SHOWN.

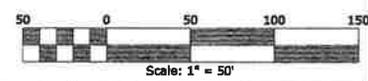
**MONUMENTATION**  
 ALL CORNERS MARKED BY EITHER OLD EXISTING MONUMENTATION OR NEW IRON PINS ON ALL PREVIOUSLY UNRECORDED CORNERS UNLESS NOTED OTHERWISE.

**911 ADDRESSING**  
 [348] KINGSPORT GIS  
 EXISTING 911 ADDRESS ASSIGNMENT

**RESUBDIVISION OF  
 LOTS 40 & 41, BLOCK 1,  
 BAILEY RANCH SUBDIVISION  
 SECTION 3**

<b>KINGSPORT REGIONAL PLANNING COMMISSION</b>	
TOTAL ACRES <b>1.290 AC±</b>	TOTAL LOTS <b>2</b>
ACRES NEW ROAD <b>0</b>	MILES NEW ROAD <b>0</b>
OWNER <b>SAM R. KASSEN &amp; MICHAEL A. KASSEN</b>	CIVIL DISTRICT <b>18TH</b>
SURVEYOR <b>CARTER, CARR &amp; ASSOC.</b>	CLOSURE ERROR <b>1:7500</b>
<b>SCALE: 1"=50'</b>	

<p><b>CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM</b></p> <p>I HEREBY CERTIFY THAT THE PUBLIC WATER UTILITY SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE KINGSPORT WATER UTILITY SYSTEM AND IS HEREBY APPROVED AS SHOWN.</p> <p>_____          AUTHORIZING AGENT</p>	<p><b>CERTIFICATION OF APPROVAL FOR 911-ADDRESSING ASSIGNMENT</b></p> <p>I HEREBY CERTIFY THAT THE ADDRESSES, AS NOTED ON THE FINAL PLAN, ARE APPROVED AS ASSIGNED.</p> <p>_____          KINGSPORT REGIONAL PLANNING COMMISSION OR VOLUNTARY REPRESENTATIVE</p>
<p><b>CERTIFICATION OF APPROVAL OF SEWERAGE SYSTEM</b></p> <p>I HEREBY CERTIFY THAT THE SEWERAGE DISPOSAL SYSTEM INSTALLED OR PROPOSED FOR INSTALLATION FULLY MEETS THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENTMENT &amp; CONSERVATION AND IS HEREBY APPROVED AS SHOWN.</p> <p>_____          TDEC          OR          KINGSPORT AUTHORIZING AGENT</p>	<p><b>CERTIFICATE OF APPROVAL FOR RECORDS</b></p> <p>I HEREBY CERTIFY THAT THE RESUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO CONFORM WITH THE SULLIVAN COUNTY REGULATIONS FOR RECORDS, EXCEPT WITH THE EXCEPTION OF EACH VARIANCE, IF ANY, AS ARE NOTED IN THE COMMENTS OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDS IN THE OFFICE OF THE SULLIVAN COUNTY CLERK.</p> <p>IF FILED: A BUREAU BASED ON THE AGREEMENT OF _____ HAS BEEN FILED WITH THE REGIONAL PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED DEVELOPMENTS IN CASE OF DEFAULT.</p> <p>_____          DATE 20____</p>



PREPARED BY:  
 CARTER, CARR & ASSOCIATES  
 SURVEYING-PLANNING  
 2515 LONE STAR ROAD  
 KINGSPORT, TENNESSEE 37603  
 TELEPHONE: (423) 349-8200  
 FAX: (423) 349-8127  
 EMAIL: ccarr@ccarr.com

<p><b>CERTIFICATE OF OWNERSHIP AND DEDICATION</b></p> <p>I HEREBY CERTIFY THAT I AM/WE ARE THE OWNER(S) OF THE PROPERTY SHOWN AND EXCEPTING HEREON AND THAT I/WE HEREBY ADOPT THIS PLAN OF RESUBDIVISION WITH THEREAFTER CONVEYED TO THE PUBLIC BY THE SULLIVAN COUNTY PLANNING COMMISSION AND THE NOWARRANTS HAVE BEEN PLACED AS SHOWN HEREON.</p> <p>DATE 20____</p> <p>OWNER _____</p>	<p><b>CERTIFICATE OF ACCURACY</b></p> <p>I HEREBY CERTIFY THAT THE PLAN SHOWN AND DISCUSSED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE KINGSPORT, TENNESSEE REGIONAL PLANNING COMMISSION AND THE NOWARRANTS HAVE BEEN PLACED AS SHOWN HEREON.</p> <p>DATE 20____</p> <p>REGISTERED LAND SURVEYOR _____</p>	<p><b>CERTIFICATION OF THE APPROVAL OF STREETS</b></p> <p>I HEREBY CERTIFY:</p> <ol style="list-style-type: none"> <li>1. ADEQUATE RIGHTS-OF-WAY DEDICATION UPON AN EXISTING PUBLIC ROAD SHALL SERVE THESE LOTS AS PROPOSED.</li> <li>2. THE STREETS HAVE BEEN DEDICATED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS.</li> <li>3. PLAY HAS BEEN APPROVED WITH THE PERFORMANCE GUARANTEE SET BY THE SULLIVAN COUNTY PLANNING COMMISSION.</li> </ol> <p>DATE 20____</p> <p>CITY ENGINEER OR COUNTY ROAD COMMISSIONER _____</p>
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## CITY OF KINGSPORT, TENNESSEE

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February 7, 2012

Mr. Dennis Ward, Chairman  
Kingsport Regional Planning Commission  
225 West Center Street  
Kingsport, TN 37660

Dear Mr. Ward,

This letter is to inform you that I, as Secretary for the Kingsport Regional Planning Commission, certify that the subdivision of lot 1 of the Avery Horne Heirs Property, located along Fall Creek Road and surveyed by Steven Lyons of Lyons Surveying Company, meets the Minimum Standards for Subdivision Development of Minor Subdivision Within the Kingsport Planning Region. The staff certifies the plat is acceptable to be signed by the Secretary of the Planning Commission for recording purposes.

Sincerely,

Lynn Tully  
Director of Community Development

cc: Kingsport Regional Planning Commission  
KC file



